

3948 SKELTON CANYON CIR.  
THOUSAND OAKS CA 91362




# PROJECT INFORMATION

ALL WORKS SHALL CONFORM TO:  
 2022 CALIFORNIA RESIDENTIAL CODE  
 2022 CALIFORNIA ELECTRIC CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA CODE OF REGULATIONS, TITLE 24  
 BUSINESS AND PROFESSIONAL CODE

## JOB DIRECTORY

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 JAMES DEVAL LANDSCAPE ARCHITECTURE  
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PROJECT INFO:  
 BUILDING A NEW HOUSE  
 PROJECT ADDRESS: 3648 SKELTON CANYON CIR., THOUSAND OAKS, CA 91320  
 APN #: 880-0-010-105  
 CONSTRUCTION TYPE: WB  
 OCCUPANCY: R3, U  
 ZONING: RPD

## RESIDENCE NEW ADDITION

BASMENT CONDITIONED SPACE SQ. FT. 844.57  
 1ST FLOOR CONDITIONED SPACE SQ. FT. 2,517.87  
 2ND FLOOR CONDITIONED SPACE SQ. FT. 938.85  
 TOTAL NEW CONDITIONED SPACE 4,101.39  
 GARAGE 608.61

## SHEET INDEX

SHEET	DESCRIPTION
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### ARCHITECTURAL :

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## VICINITY MAP

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TOM OSWAL

TEC



Nov 21, 2023

Deaton

Drawn : GM

John B.

**Support**

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PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM BASEMENT AND/OR SLEEPING ROOMS, AND HABITABLE ATTICS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. EXCEPT AT GARAGE FLOOR OPENINGS SHALL BE NOT LESS THAN 5.0 SQ. FT.

OPENING MUST BE 20" CLEAR, FINISHED SILL HEIGHT MAX 44" ABOVE FLOOR.

2. WHEN OPERABLE WINDOW IS LOCATED MORE THAN 6' ABOVE FINISH FLOOR WITH THE LOWEST PART OF WINDOW OPENING BEING LESS THAN 24" ABOVE FINISHED FLOOR, AND THE OPENING IS LARGER THAN 20" SQUARE, THE WINDOW SHALL BE PROVIDED WITH EITHER A LATCH PREVENTION DEVICE COMPLYING WITH ASTM F2092 OR PROVIDED WITH WINDOW OPERATING DEVICE, GCR 8-5.2.2

3. GLAZING WITHIN 24" OF DOWNGRAY, ONLY OF FLOORS, OR IN SHOWERS AND BATHS, DOORS AND ENCLOSURES INCLUDING BATHS, SHALL BE GLAZED TO NOT LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE TEMPERED. GLAZING IN WINDOWS INCLUDING STAIRWAY LANDINGS, SHALL BE 20" VERTICALLY OF THE WALKING SURFACE AT LANDINGS.

4. THE NRC "TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

5. SECURITY NOTES

PROJECT TO COMPLY WITH THE BUILDING SECURITY NOTES ON DOORS, WINDOWS, EXTERIOR LIGHTING AND HARDWARE PER CITY ORDINANCE.

6. WATER CONSERVATION

THE NEW PLUMBING FIXTURES AND PLUMBING FIXTURES THAT MEET THE FLOW RATES LISTED BELOW IN TABLE A CALCULATION SHOWING A 20% REDUCTION FROM BASELINE VALUES LISTED IN CROUSH TALE 4.903.1

A.	WATER CLOSET	= 120 GALLONS PER FLUSH
B.	SHOWERS	= 2.0 GALLONS PER MINUTE MAX
C.	LAVATORY	= 15 GALLONS PER MINUTE MAX
D.	WASH SINK	= 5 GALLONS PER MINUTE MAX
E.	URINALS	= 0.5 GALLONS PER FLUSH
F.	FIXATING FITTERS	0.2 GALLONS PER CYCLE

NOTE:

1. THE COMBINED FLOW RATE OF MULTIPLE SHOWER HEADS SHALL NOT EXCEED THE MAX. FLOW RATE OR THE SHOWER SHALL BE DESIGNED TO PERMIT ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.

2. THE EFFECTIVE FLUSH VOLUME FOR DUAL-FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

3. ALL SHOWERS AND TUB-SHOWERS SHALL BE MECHANICALLY VENTILATED WITH THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING TYPE VALVE.

7. IN BATHROOMS, CELLING AND TUB-SHOWER WALLS, SHALL BE TILE OVER APPROVED CEMENT BOARD OR PLATED GIBBS

8. PROVIDE A MECHANICAL EXHAUST FANS WITH EXHAUST DUCTED FROM BATHROOMS SHALL BE INSTALLED PERMANENT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A READY-ADJUSTABLE HUMIDISTAT OR A SINGLE HOUSE VENTILATION SYSTEM.

FOR THE PURPOSE OF HUMIDITY CONTROL, BATHROOMS CONTAINING A BATHTUB, SHOWER OR TUB-SHOWER COMBINATION, SHALL BE MECHANICALLY VENTILATED AT A RATE OF CFM FOR CONTINUOUS VENTILATION, OTHERWISE A RATE OF 50 CFM MUST BE USED FOR INTERMITTENT VENTILATION. AN OPERABLE WINDOW IS NOT A PERMISSIBLE METHOD OF EXHAUST AIR SHALL BE DUCTED TO TERMINATE OUTSIDE OF THE BUILDING. GCR 8.203.3.1, G68C 4.506.1

EXHAUST FANS PROVIDED FOR HUMIDITY CONTROL, SHALL MEET THE FOLLOWING:

- (1) ENERGY STAR COMPLIANT, AND
- (2) CONTROLLED BY A HUMIDITY CONTROL, UNLESS FUNCTIONING AS A COMPONENT OF A SINGLE HOUSE VENTILATION SYSTEM. SHALL BE MECHANICALLY CONTROLLED AS FOLLOWS:
  - (a) HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 40% TO 60% OR EQUAL, TO 50% TO A MAXIMUM OF 80%.
  - (b) HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.

IN BATHROOM, WATER GLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS, PROVIDE A WINDOW NOT LESS THAN 35.0 FT. GLAZING AREA, 1/2 OF WHICH SHALL BE OPERABLE, OR PROVIDE EXHAUST FANS 40 CFM

9. KITCHENS SHALL BE MECHANICALLY VENTILATED, WHEN USED FOR INTERMITTENT VENTILATION 50 CFM MINIMUM OF CONTINUOUS VENTILATION 200 CFM MINIMUM.

GCR TABLE 4.903.1

10. PROVIDE 1/2"x12" (MIN) PLUMBING ACCESS FOR TUB, PROVIDE MIN. 12" HIGH NON-ABSORBENT WALL SURFACE IN BATHS AND SHOWER COMPARTMENT

PROVIDE MIN. 24" CLEAR IN FRONT OF WATER CLOSET AND MINIMUM CLOSURE WITH 50" DIA.

MINIMUM SHOWER AREA OF 102.4 SQ. FT. WITH A 30" DIA.

11. ALL HANDRAIL SHALL HAVE HEIGHT BETWEEN 34" AND 38" MEASURED FROM THE TREAD NOSEING.

HANDRAIL WITH CIRCULAR CROSS-SECTION SHALL HAVE OUTSIDE PERIMETER DIMENSION BETWEEN 1.29"-2", SQUARE CROSS-SECTION SHALL HAVE OUTSIDE PERIMETER DIMENSION BETWEEN 1.4" AND 1.64" WITH A MAXIMUM CROSS-SECTION DIAMETER OF 2.14". TREADS SHALL HAVE A MINIMUM RADIUS OF .04". OPENINGS BETWEEN THE HANDRAILS (BAUSTERS OR ORNAMENTAL PATTERNS) SHALL NOT ALLOW A SPHERE OF 1.75" TO PASS THROUGH THE OPENING.

HANDRAIL SHALL BE CAPABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200# APPLIED IN ANY POINT ALONG THE TOP. GCR R311.7.1, R311.7.2.3

BALCONIES, DECKS AND LANDINGS MORE THAN 30" ABOVE GRADE SHALL BE PROVIDED WITH A GUARDRAIL, MIN. HEIGHT OF 42" OPEN SPACE BETWEEN INTERMEDIATE BALUSTRADES SHALL NOT EXCEED 4"

12. FIREWALL REQUIRED BETWEEN GARAGE AND DWELLING

FIRE RESISTIVE MATERIALS MAY BE APPLIED ON GARAGE SIDE ONLY.

BRICK/FIRE MATERIALS, SHALL BE 8" THICK

CONTRACTOR SHALL COMPLY WITH BUILDING CODES, REGULATIONS AND LAWS OF AUTHORITIES HAVING JURISDICTION FOR THIS PROJECT.

2. IF THE CONTRACTOR RESPONSIBILITY TO INSURE THAT INSTALLATION METHODS CONFORM TO ALL BUILDING CODES, ORDINANCES, SPECIFICATIONS AND PERMITS ARE INTENDED TO MEET CODE REQUIREMENTS, ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE SPECIFIED WORK.
3. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND COORDINATE WITH THE ARCHITECT, PLUMBER, PLUMBERS, AND SPRINKLER REQUIREMENTS PRIOR TO COMMENCEMENT OF ANY WORK (INCLUDING BID CALCULATIONS). THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSULTING WITH THE ARCHITECT WHERE DISCREPANCIES EXIST OR WHEN CLARIFICATIONS ARE REQUIRED. THERE SHALL BE NO ALLOWANCE MADE FOR ANY EXTRA EXTENSIONS OR SCHEDULE EXTENSIONS DUE TO THE CONTRACTORS FAILURE/NEGLECT OF A THOROUGH JOB SITE SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONSTRUCTION DOCUMENTS DIMENSIONS BE SCALED FROM THE PLANS, ELEVATIONS OR DETAILS, EXCEPT AS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SIZE AND LOCATION OF ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND/OR LARGE DIMENSIONS WITH THE APPROPRIATE EQUIPMENT MANUFACTURER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRELATION OF ALL DIMENSIONS TO BE CONSTRUCTION STANDARD. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE CONTRACTOR SHALL CALL THE ARCHITECT FOR CLARIFICATION.
6. UNLESS OTHERWISE NOTED, DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN; LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
7. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY; WHAT IS REQUIRED BY ONE SHALL BE AS INDICATED AS REQUIRED BY ALL.
8. THE CONTRACTOR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE CONTRACTOR INCLUDE THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS; THEY SHALL BE ONE AND THE SAME.
9. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES ON THE PROJECT, UNLESS OTHERWISE NOTED. ANY DISCREPANCY BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE THERE IS NO ADDITIONAL COST TO THE TENANT/OWNER.
10. ALL EXISTING PARTITIONS, FLOORS AND CEILINGS SHALL BE PATCHED OR REPAIRED, AS REQUIRED, BY THE CONTRACTOR. ALL REPAIRED SURFACES SHALL BE EQUAL TO NEW UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL ADVISE THE ARCHITECT OF ANY DAMAGE TO EXISTING PARTITIONS, FLOORS AND PLUMB (WITHIN INDUSTRY STANDARDS AND THE ARCHITECT'S SPECIFICATIONS) PRIOR TO THE START OF CONSTRUCTION.
11. THE GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY SLOD AND/OR PLASTIC GLOD PARTITIONS NECESSARY TO PROTECT THE SURROUNDING AREAS WHILE DEMOLITION AND/OR CONSTRUCTION IS IN PROGRESS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SUCH PARTITIONS.
12. THE CONTRACTOR SHALL NOTE THAT THERE SHALL BE NO SUBSTITUTIONS FROM ANY MATERIAL, WHERE SPECIFIC MANUFACTURES ARE SPECIFIED. WHERE "APPROXIMATE EQUAL" HAS BEEN STATED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR APPROVAL PRIOR TO PROPOSED SUBSTITUTION AND SUBMIT SAMPLES, SPECIFICATIONS AND COST IMPACT OF THE PROPOSED WORK, AS NECESSARY, FOR REVIEW AND APPROVAL.
13. WHERE SHOP DRAWINGS ARE REQUIRED/REQUESTED, CONTRACTOR SHALL SUBMIT A MINIMUM OF TWO (2) BLUELINE PRINTS TO THE ARCHITECT FOR ANY EXCEPTIONS TAKEN PRIOR TO FABRICATION.
14. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED AND SHALL BE DELIVERED TO THE JOB SITE IN A CONDITION READY FOR INSTALLATION.
15. IN SOUND INSULATED ROOMS, ALL WALL PENETRATIONS FOR DUCTS, PIPES AND OUTLETS SHALL BE SEALED WITH ACOUSTIC SEALANT; RECESSED LIGHT FIXTURES SHALL BE COVERED OR BACKED WITH A SOUND ATTENUATION BLANKET.
16. ALL WALL PARTITIONS SHALL BE PROTECTED FROM DAMAGE, PLUMBING, ELECTRICAL, AND MECHANICAL CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BLOCKING, BRACING, SHORING, HANDS, OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETS, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME.
17. THE CONTRACTOR SHALL VERIFY TYPE/TYPE REQUIREMENTS OF ALL LOCKS WITH THE TENDOWER.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITIES (POWER, LIGHTING, WATER, AND OTHERS) REQUIRED TO THE JOB SITE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE USED BY SUBCONTRACTORS TO THE GENERAL CONTRACTOR.
19. DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL EXISTING WORK FROM DAMAGE, INCLUDING THE FOLLOWING: OVERSPLAT, ETC. ALL FIXTURES, EQUIPMENT, BLANK PARTITIONS, SHALL BE LIFTED AND READY FOR OCCUPANCY.
20. PRIOR TO INSTALLATION OF CARPET AND PANDON COVERINGS, THE CONTRACTOR SHALL MAINTAIN THE SPACE IN BROADEN GLEAD CONDITION WHETHER OR NOT INSTALLATION OF CARPET AND PANDON COVERINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
21. MECHANICAL, ELECTRICAL, STRUCTURAL, PLUMBING AND OTHER CONSULTANTS' DRAWINGS ARE BOTH SUPPLEMENTARY AND COMPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (AND HIS SUBCONTRACTORS) TO CHECK WITH THE ARCHITECTURAL DRAWINGS PRIOR TO SUBMITTAL OF BID AND AGAIN BEFORE THE INSTALLATION OF MECHANICAL, ELECTRICAL, AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND THE ENGINEERING CONSULTANTS' DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR. CONTRACTOR MAY BE REQUIRED TO PERFORM ALL WORK SHOWN ON THE ARCHITECTURAL AND ENGINEERING DRAWINGS.
22. SEPARATE APPLICATION AND PERMITS ARE REQUIRED FOR ELECTRICAL, MECHANICAL AND PLUMBING WORK.

A. THE SIZE AND PLACEMENT OF WINDOWS AND OTHER MAJOR OPENINGS SHALL TAKE INTO ACCOUNT PREVAILING BREZZES DURING THE SUMMER SEASON AND PROTECTION FROM STRONGER WINDS DURING THE WINTER SEASON.

B. THE INCLUSION OF EXTERNAL SHADES OR SOME OTHER APPROPRIATE DESIGN FEATURES TO DEFLECT SUNLIGHT OR ALLOW IT TO ENTER THE RESIDENCE DEPENDING ON SEASONAL NEEDS.

C. THE EXTENSION AND DEGREE OF ROOF OVERHANG FOR SUN SHADING, DEPENDING UPON THE ORIENTATION OF THE UNIT.

D. THE STRATEGIC LOCATION AND TYPE OF PLANT MATERIALS IN PAVED AREAS ADJACENT TO THE RESIDENCES TO REDUCE TEMPERATURE BUILDUP, PROVIDE SHADING DURING SUMMER MONTHS, AND TO ALLOW MAXIMUM SUN PENETRATION DURING THE WINTER SEASON.

GN







No.	Revision Date

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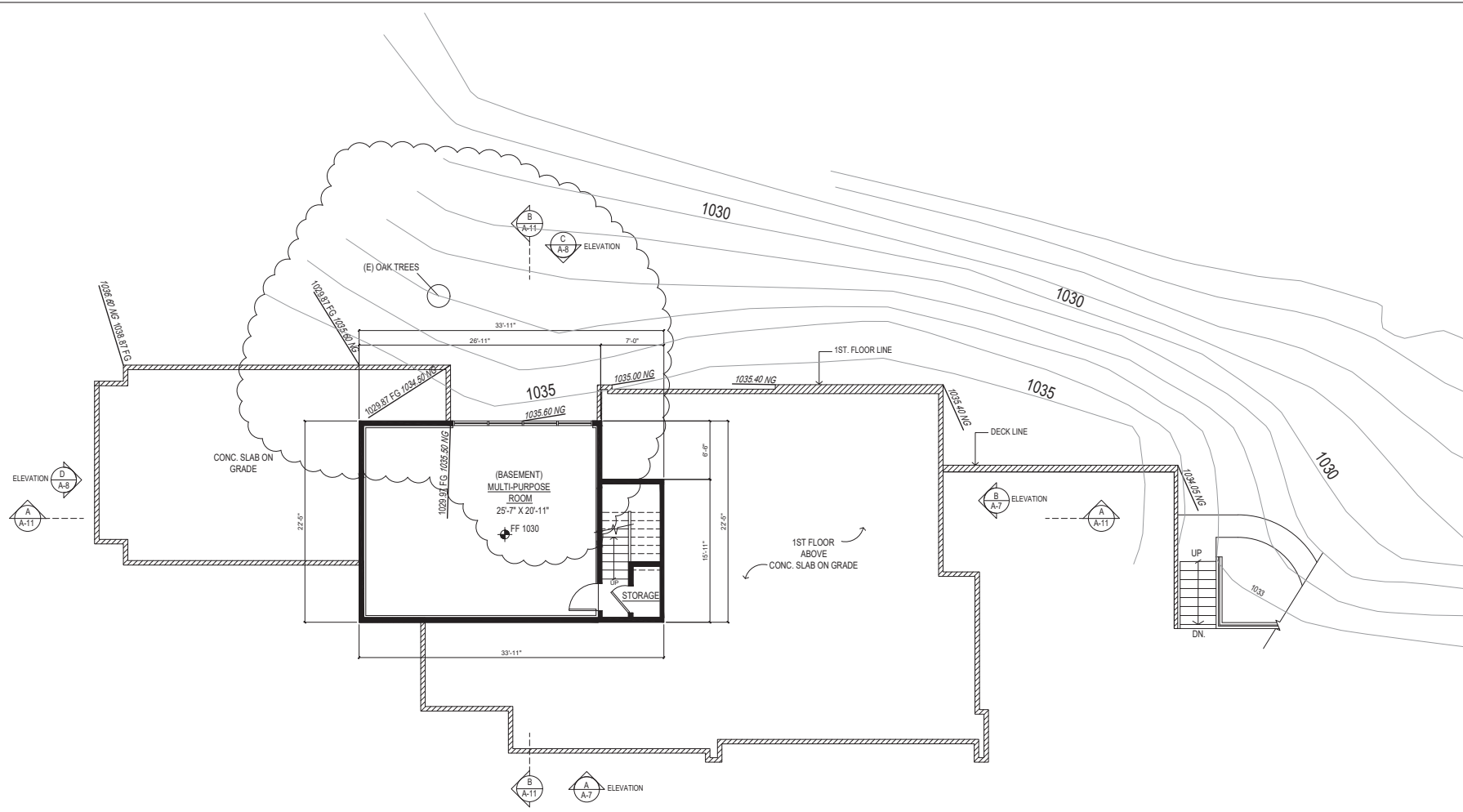
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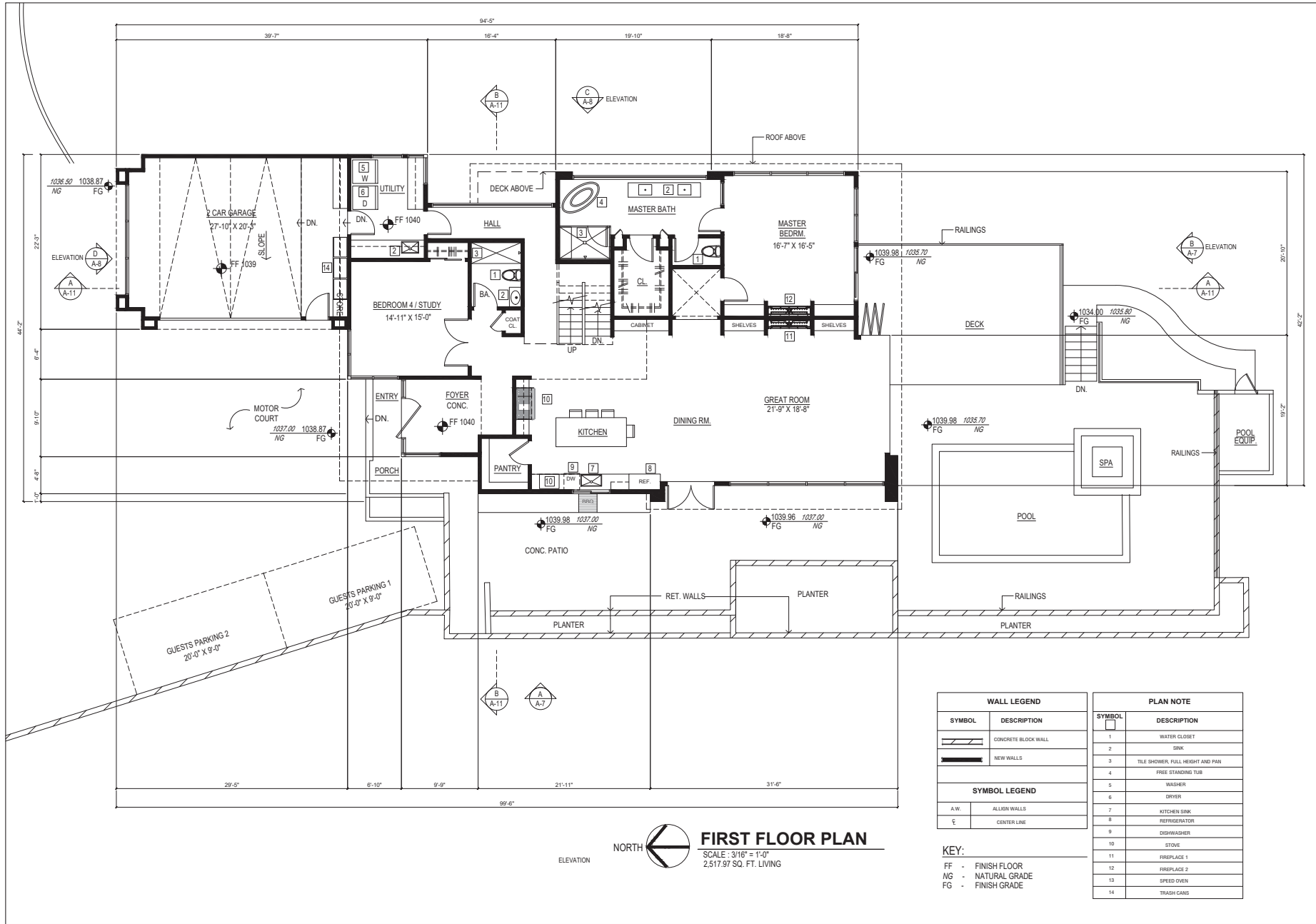


# **BASEMENT FLOOR PLAN**

SCALE: 3/16" = 1'-0"  
 644.57 SQ. FT.



- KEY:**
- FF - FINISH FLOOR
  - NG - NATURAL GRADE
  - FG - FINISH GRADE



**FIRST FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"  
 2,517.97 SQ. FT. LIVING

WALL LEGEND	
SYMBOL	DESCRIPTION
	CONCRETE BLOCK WALL
	NEW WALLS
SYMBOL LEGEND	
A.W.	ALIEN WALLS
CL	CENTER LINE

**KEY:**  
 FF - FINISH FLOOR  
 NG - NATURAL GRADE  
 FG - FINISH GRADE

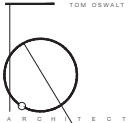
PLAN NOTE	
SYMBOL	DESCRIPTION
1	WATER CLOSET
2	SINK
3	TILE SHOWER, FULL HEIGHT AND PAN
4	FREE STANDING TUB
5	WASHER
6	DRYER
7	KITCHEN SINK
8	REFRIGERATOR
9	DISHWASHER
10	STONE
11	FIREPLACE 1
12	FIREPLACE 2
13	SPEED OVEN
14	TRASH CANS

No.	Revision Date

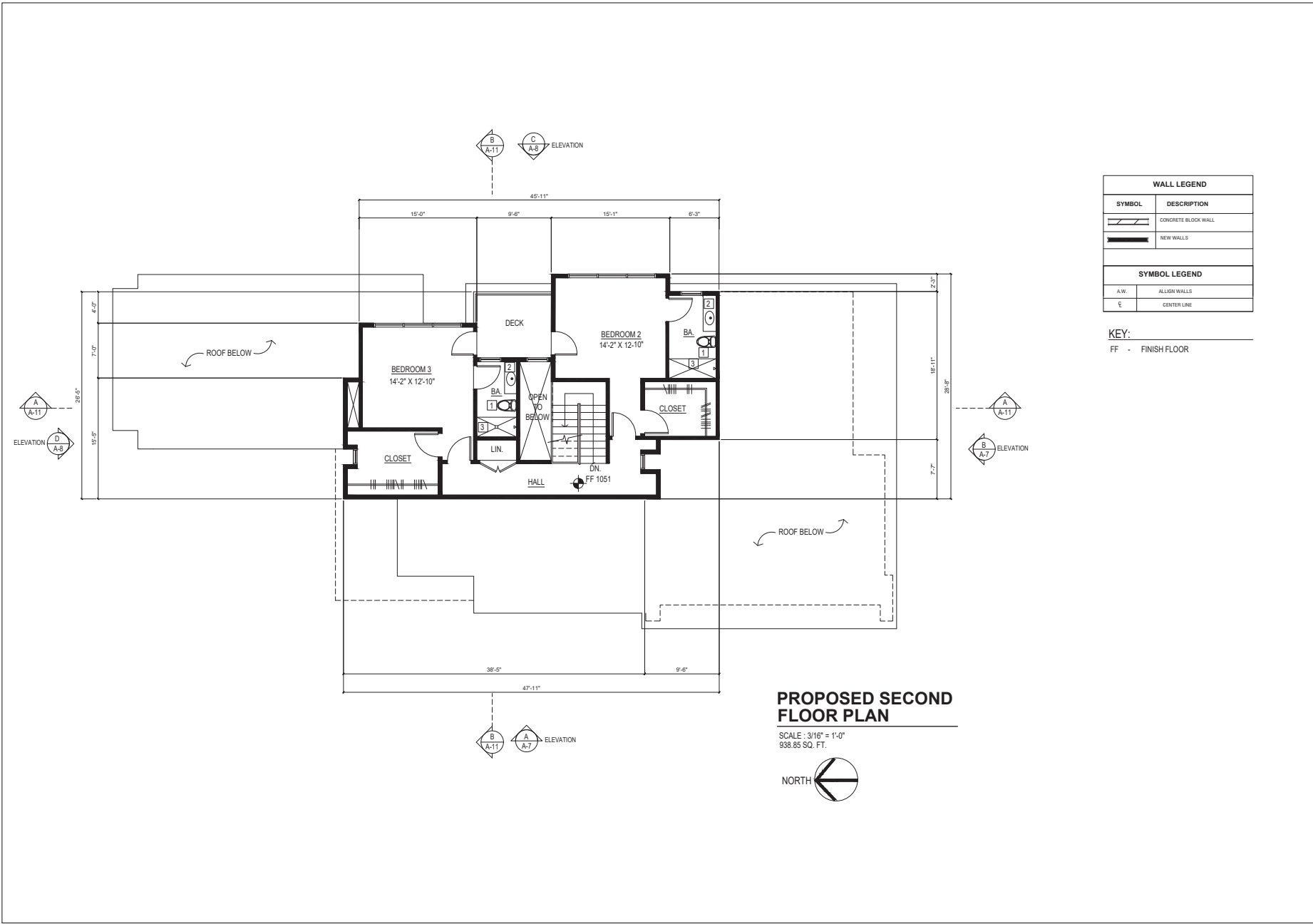
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**PROPOSED SECOND FLOOR PLAN**

SCALE : 3/16" = 1'-0"  
938.85 SQ. FT.



WALL LEGEND	
SYMBOL	DESCRIPTION
	CONCRETE BLOCK WALL
	NEW WALLS
SYMBOL LEGEND	
	ALIGN WALLS
	CENTER LINE

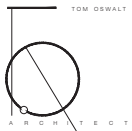
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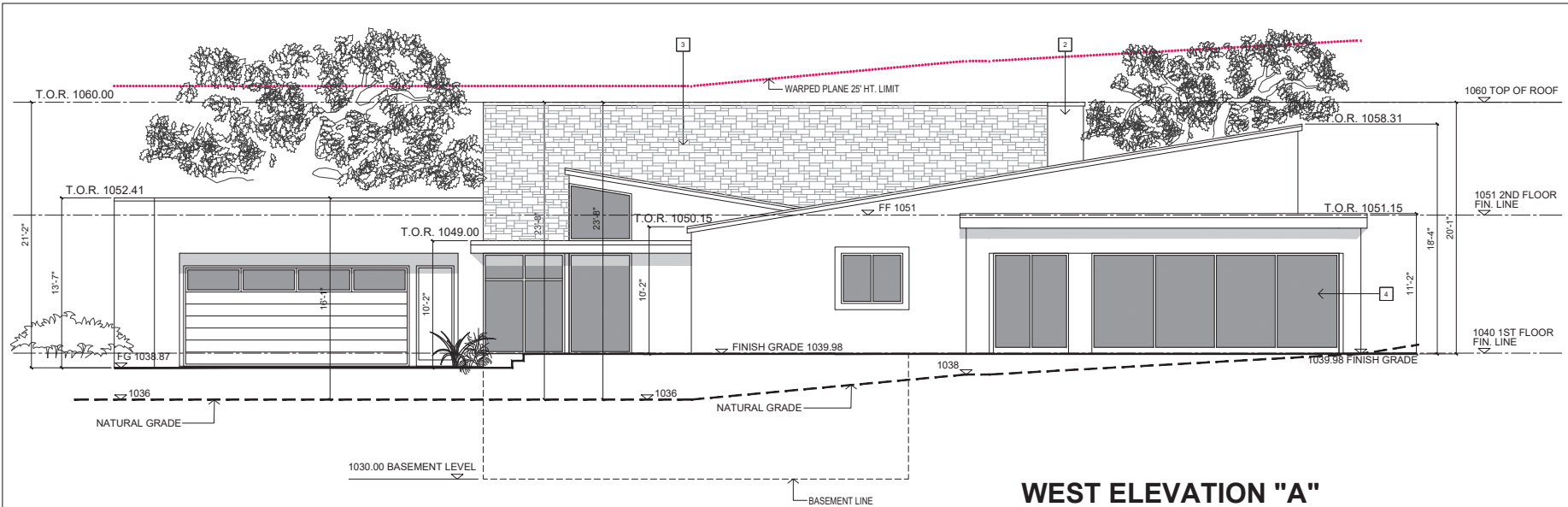


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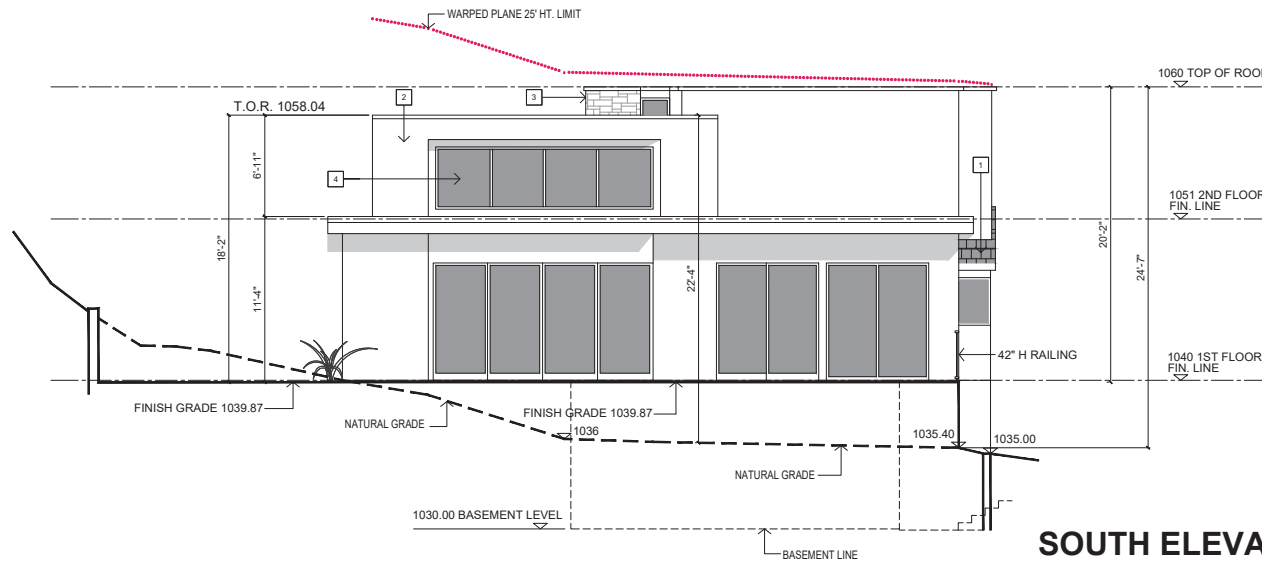
KEY:

- TOR - TOP OF ROOF  
NG - NATURAL GRADE  
FG - FINISH GRADE



## WEST ELEVATION "A"

SCALE : 1/4" = 1'-0"



## SOUTH ELEVATION "B"

SCALE : 1/4" = 1'-0"

### LEGEND:

- 1 CONCRETE TILE ROOF
- 2 STUCCO
- 3 STONE VENEER
- 4 WINDOW
- 5 GLASS RAILINGS

### NOTE:

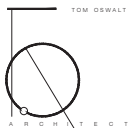
T.O.R. = TOP OF ROOF  
F.F. = FINISH FLOOR

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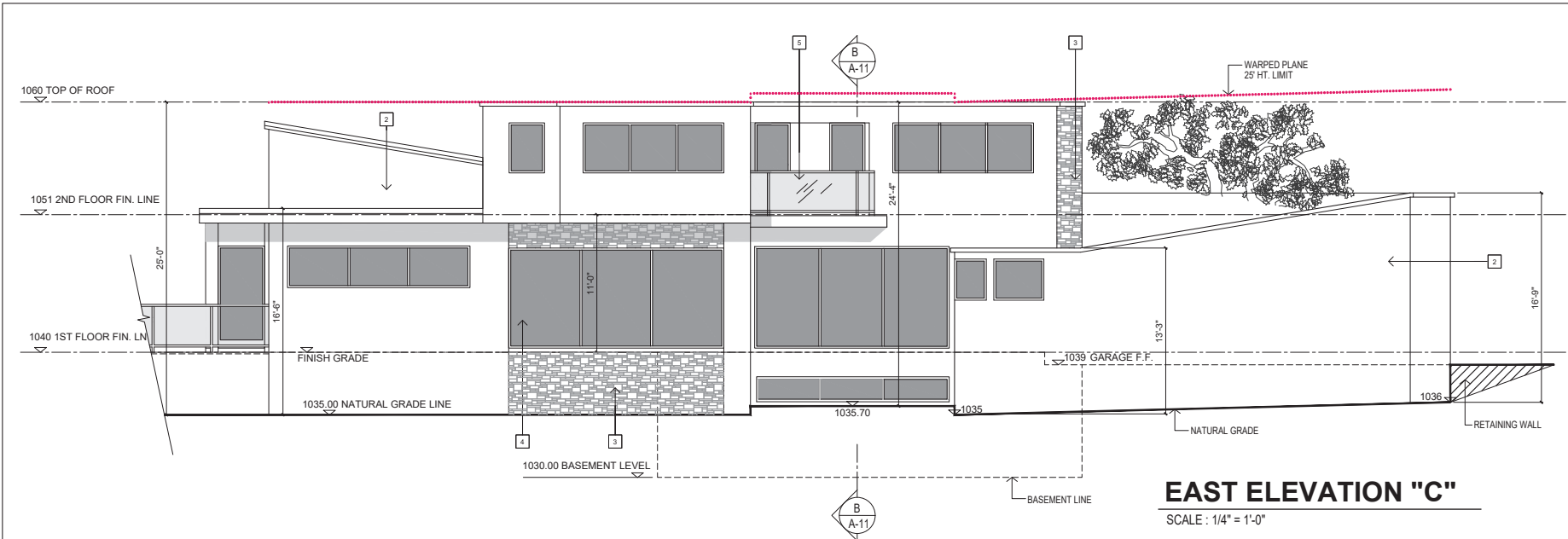
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## EAST ELEVATION "C"

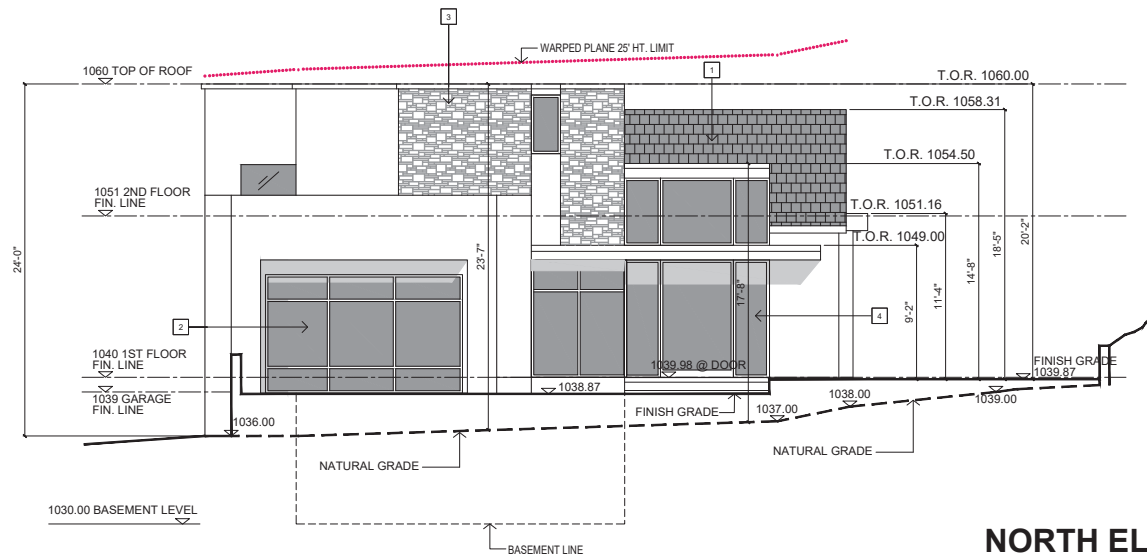
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### LEGEND:

- 1 CONCRETE TILE ROOF
- 2 STUCCO
- 3 STONE VENEER
- 4 WINDOW
- 5 GLASS RAILINGS

### NOTE:

T.O.R. = TOP OF ROOF  
F.F. = FINISH FLOOR  
F.G. = FINISH GRADE



## NORTH ELEVATION "D"

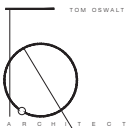
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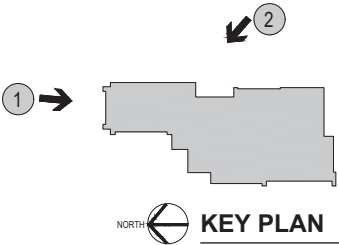
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**1 FRONT- NORTH VIEW**  
NTS



**2 LEFT- EAST SIDE VIEW**  
NTS



**KEY PLAN**

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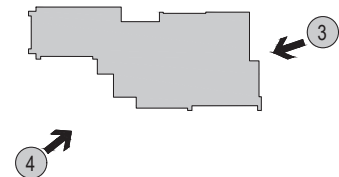




**3 REAR- SOUTH VIEW**  
NTS



**4 RIGHT- WEST SIDE VIEW**  
NTS



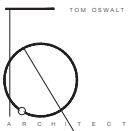
NORTH **KEY PLAN**

No.	Revision Date

TOM OSWALT - ARCHITECT  
2985 HILLCREST DRIVE, SUITE 303  
THOUSAND OAKS, CA 91320  
TEL: (805) 373-6642  
E-MAIL: tozarch@aol.com

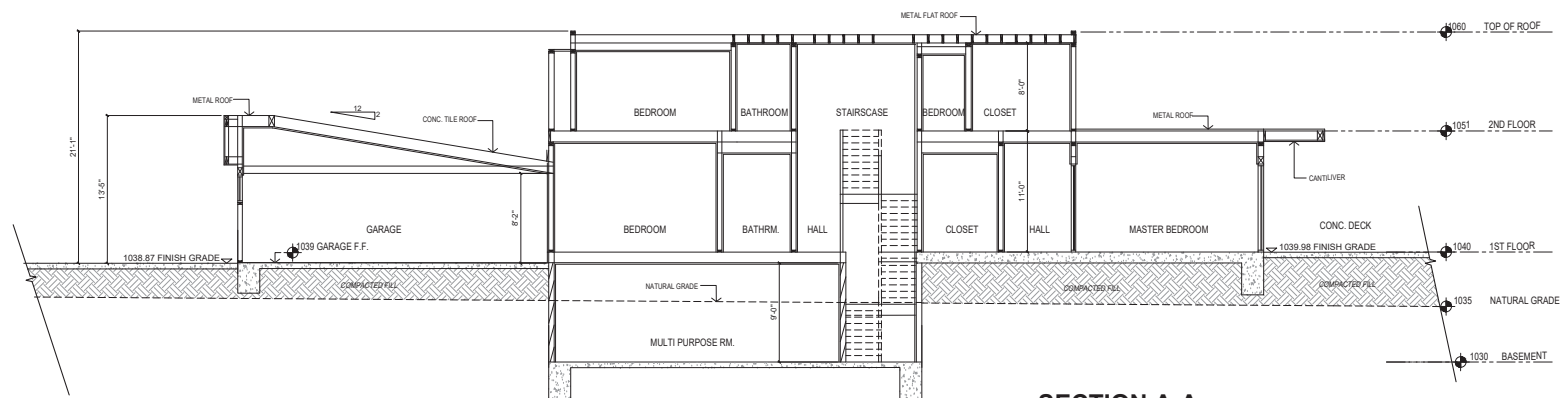
FERRUZZA RESIDENCE  
3985 HILLCREST DRIVE, SUITE 303  
THOUSAND OAKS, CA 91320

Prepared for:



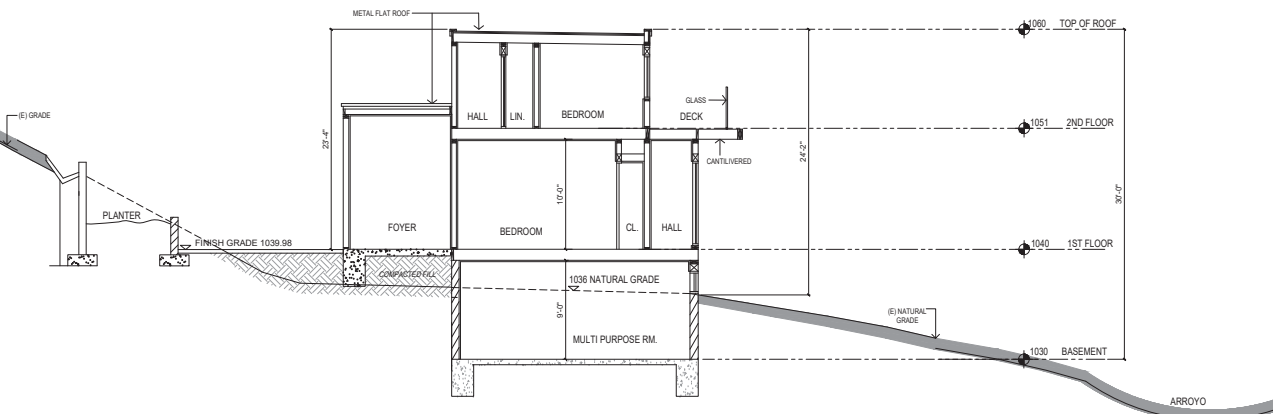
Date: Nov 21, 2023  
Scale:   
Drawn: QM  
Approved:   
Job No.:   
Sheet:

A-10  
of Sheets



### SECTION A-A

SCALE : 3/16" = 1'-0"



### SECTION B-B

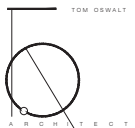
SCALE : 3/16" = 1'-0"

No.	Revision Date

TOM OSWALT - ARCHITECT  
2985 HILLCREST DRIVE, SUITE 303  
THOUSAND OAKS, CA 91320  
TEL: (805) 373-8642  
E-MAIL: tozarch@aol.com

FERRUZZA RESIDENCE  
3985 HILLCREST DRIVE, SUITE 303  
THOUSAND OAKS, CA 91320

Prepared for:



Date	Nov 21, 2023
Scale	3/16" = 1'-0"
Drawn	GM
Approved	
Job No.	
Sheet	

A-11  
of Sheets

APN 690-0-001-010

**AVERAGE DRIVEWAY SLOPE ANALYSIS**  
 I = INTERVAL IN FEET = 2'  
 L = LENGTH OF CONTOUR = 12'  
 A = 0.14 ACRES  
 S = AVERAGE EXISTING LAND SLOPE IN PERCENTAGE  
 FORMULA:  
 $S = (L \times 100) / (A \times 3560) =$   
 $(2 \times 12 \times 100) / (1.14 \times 3560) =$   
 $2400 / 4058.4 = 0.59\%$   
 AVERAGE DRIVEWAY SLOPE = 3.0%

**AVERAGE SLOPE ANALYSIS**  
 I = INTERVAL IN FEET = 1'  
 L = LENGTH OF CONTOUR = 400'  
 A = 0.47 ACRES  
 S = AVERAGE EXISTING LAND SLOPE IN PERCENTAGE  
 FORMULA:  
 $S = (L \times 100) / (A \times 3560) =$   
 $(1 \times 400 \times 100) / (0.47 \times 3560) =$   
 $40000 / 1677.2 = 23.85\%$   
 AVERAGE SLOPE = 19.6%

**VICINITY MAP**  
 SCALE 1"=100'

# GENERAL NOTES

ARCHITECTURE, AND LANDSCAPE INFORMATION PROVIDED AS REFERENCE ONLY. REFER TO ARCHITECT AND LANDSCAPE PLANS FOR BUILDING CONSTRUCTION.

CONTRACTOR TO VERIFY THE PRESENCE OF ANY/ALL UTILITIES IN AREAS OF EXCAVATION BEFORE BEGINNING WORK. ANY SUCH UTILITIES OF OBSTRUCTION ARE TO BE RELOCATED PER CONTRACTOR DIRECTION.

PROTECT ALL OAK TREE TRUNK AND ROOTS PER LANDSCAPE ARCHITECT PLANS, AND OAK TREE REPORT.

ANY GRADING, WALL CONSTRUCTION, DRIVEWAY CONSTRUCTION, FOUNDATION WORK, SHALL BE PER SOILS ENGINEERS, AND LANDSCAPE ARCHITECT RECOMMENDATION.

ALL MITIGATION MEASURES RECOMMENDED ON FINAL BIOLOGICAL ASSESSMENT REPORT BY FORGE BIOLOGICAL CONSULTANTS ON THIS PROPERTY (APN 690-0-010-105), DATED 7-15-2019, SHALL BE USED BEFORE, DURING AND AFTER CONSTRUCTION OF PROPOSED RESIDENCE.

EARTHWORK SHOWN HEREON IS APPROXIMATE ONLY. FINAL VOLUME CALCULATIONS WILL BE DETERMINED DURING PREPARATION OF CONSTRUCTION DRAWINGS.

EARTHWORK VOLUMES	
CUT	750 C.Y.
FILL	1400 C.Y.
IMPORT	650 C.Y.

## PROJECT DATA

OWNERS: TRICIA FERRUZZA  
 ASSESSORS: 690-0-010-105  
 LAND USE: RESIDENTIAL  
 ZONING: R1  
 ZIP CODE: 93031

IMPROVEMENT TYPE	GRADING LIMIT
RESIDENCE	2,330 S.F.
DRIVEWAY AND PARKING	6,562 S.F.
MANUFACTURED SLOPES	298 S.F.
YARD AREA INCLUDING OPEN SPACE	6,617 S.F.

AREA/VOLUME CALCULATIONS	
AREA WITHIN BLDG AND 100' SETBACK LINE	59,722 SQ.FT.
AREA OF GRADING ABOVE 25% SLOPE	3,633 SQ.FT.
AMOUNT OF GRADING IN C.Y. ABOVE 25% SLOPE	197 C.Y.

## LEGEND

- RETAINING WALL
- 3" HIGH MAX PLANTER BLOCK WALL
- ROUGH GRADE ELEVATIONS
- EXIST. SPEED BASIN PER NDS, PLASTIC PRODUCTS PART NO. 101, 201, 300, U.N.O.
- 12" SQ. CATCH BASIN PER NDS, PLASTIC PRODUCTS PART NO. 1200-1204, U.N.O.
- INDICATES 4" PER. SUBRAIN
- EXISTING SPOT ELEVATIONS
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR ELEVATION
- PROPERTY LINE
- CENTERLINE
- PROTECTIVE FENCE
- CONCRETE MOTOR COURT
- SEE LANDSCAPE ARCHITECT PLANS

## ABBREVIATIONS

- A.C. ASPHALTIC CONCRETE
- A.D. AREA DRAIN
- A.S. AGGREGATE SUBBASE
- B.M. BENCH MARK
- C.B. CATCH BASIN
- C/L CENTERLINE
- C.P. CURB FACE
- C.C. CONCRETE
- DIA. DIAMETER
- E.P. EDGE OF PAVEMENT
- E.G. EXISTING GRADE
- F.G. FINISHED GRADE
- F/L FLOW LINE
- F.F. FINISHED FLOOR
- F.S. FINISHED SURFACE
- G.B. GRADE BREAK
- L.P. LOW POINT
- T.C. TOP OF CURB
- T.G. TOP OF GRADE
- T.W. TOP OF WALL
- R.D. ROOF DRAIN
- R.P. RADIAL POINT



DIAL TOLL FREE  
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 BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

PREPARED FOR  
**TRICIA FERRUZZA**  
 2773 WESTHAM CIRCLE  
 THOUSAND OAKS, CA 91360  
 (310) 496-3747



ENGINEER'S SEAL

PREPARED BY  
**WESTLAND CIVIL, INC.**  
 CIVIL ENGINEERS PLANNING / DESIGN LAND SURVEYORS  
 101 HIDEONAMP RD., SUITE 216, THOUSAND OAKS, CA 91320  
 (805) 485-1530 FAX (805) 446-9125

REGISTERED ENGINEER NO. 27364

REVIEWED BY: VENTURA COUNTY FIRE DEPARTMENT	
DATE	
REVIEWED FOR PERMIT ISSUANCE BY: CITY OF THOUSAND OAKS	
DEVELOPMENT ENGINEER	DATE
PLANNING DIVISION	DATE
<TRAFFIC ENGINEER>	DATE
<BLDG. DIVISION - ADA COMPLIANCE>	DATE
<COSCA>	DATE

**PROGRESS PRINT  
 NOT FOR CONSTRUCTION**

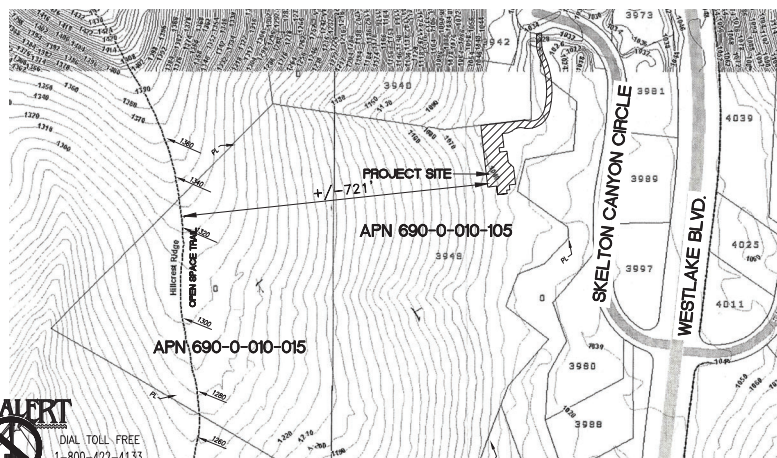
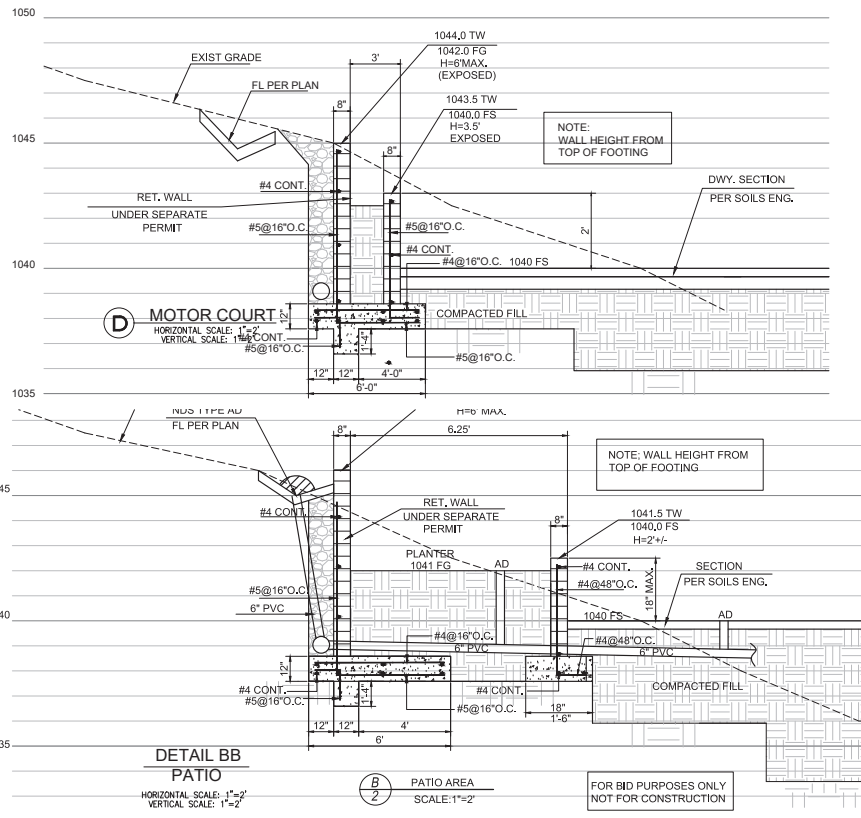
- NOTE:**
- SEE SHEET 2, FOR BUILDING SECTIONS A&B AND ROAD SECTION A
  - SEE SHEET 3, FOR EASEMENT LOCATION
  - SEE SHEET 3, FOR UTILITY PLAN

APN 690-0-010-105

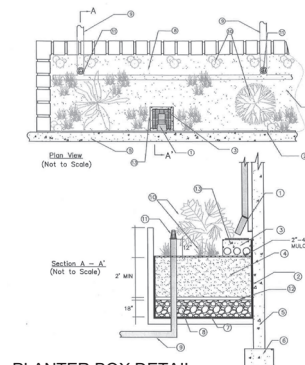
**CITY OF THOUSAND OAKS  
 PUBLIC WORKS DEPARTMENT**  
**PRELIMINARY  
 GRADING AND DRAINAGE PLAN**  
**FERRUZZA RESIDENCE**  
 3948 SKELTON CANYON CIRCLE  
 THOUSAND OAKS, CA, 91360

SHEET 1 OF 4

6/19/24

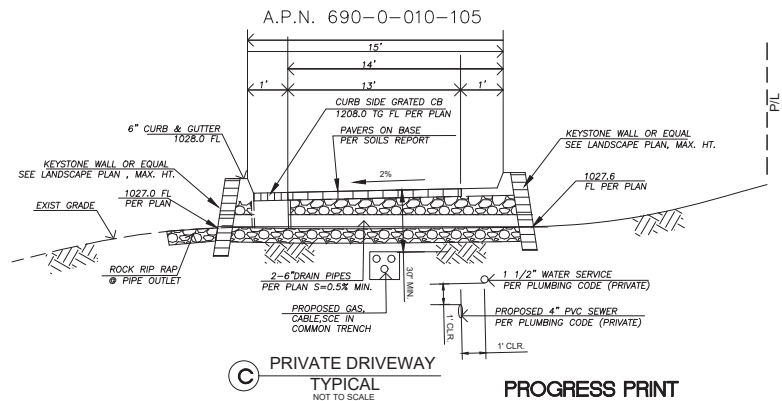


**DIG ALERT**  
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AT LEAST TWO DAYS  
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UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



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**WESTLAND CIVIL, INC.**  
CIVIL ENGINEERING PLANNING / DESIGN LAND SURVEYORS  
101 HIDEACRE RD., SUITE 216, THOUSAND OAKS, CA 91320  
(805) 489-1330 FAX: (805) 489-9125

REGISTERED ENGINEER NO. 27364 DATE



REVIEWED BY: VENTURA COUNTY FIRE DEPARTMENT	DATE
REVIEWED FOR PERMIT ISSUANCE BY: CITY OF THOUSAND OAKS	DATE
DEVELOPMENT ENGINEER	DATE
PLANNING DIVISION	DATE
<TRAFFIC ENGINEER>	DATE
<BLDG. DIVISION - ADA COMPLIANCE>	DATE
<COSCA>	DATE

**PROGRESS PRINT  
NOT FOR CONSTRUCTION**

APN 690-0-010-105

**CITY OF THOUSAND OAKS  
PUBLIC WORKS DEPARTMENT**

**PRELIMINARY  
GRADING PLAN SECTIONS**

**FERRUZZA RESIDENCE**  
3948 SKELTON CANYON DRIVE  
THOUSAND OAKS, CA, 91360





VICINITY MAP  
SCALE 1"=100'

#### EASEMENT LEGEND

EASEMENT PLOTTED PER AMENDED PRELIMINARY REPORT BY FIDELITY NATIONAL TITLE COMPANY ORDER NO. 00375391-994-VNO-CH, DATED MAY 5, 2023

- 1 10' WIDE EASEMENT PER TRACT. NO. 2343-1, 67 MR 40

PUBLIC UTILITIES EASEMENT GRANTED TO AMERICAN HAWAIIAN PROPERTIES, FOR MAINTENANCE, REPAIR AND EXCLUSIVE RIGHTS, PURPOSE: RECORDING DATE JUNE 29, 1966, IN BOOK 2999, PAGE 398 OF OFFICIAL RECORDS, NOT PLOTTABLE

- 2 EASEMENT AGREEMENT, FOR USE, MAINTENANCE, AND REPAIR PURPOSE: RECORDING DATE SEPTEMBER 10, 1976, IN BOOK 4587, PAGE 842 OF OFFICIAL RECORDS, NOT PLOTTABLE

PUBLIC UTILITIES EASEMENT AND RIGHT OF WAY GRANTED TO SOUTHERN CALIFORNIA EDISON FOR USE, MAINTENANCE, AND REPAIR AND EXCLUSIVE RIGHTS, PURPOSE: RECORDING DATE SEPTEMBER 10, 1976, IN BOOK 2999, PAGE 398 OF OFFICIAL RECORDS, NOT PLOTTABLE

- 3 EASEMENT GRANTED TO WESTLAKE VENTURES 1, TO CONSTRUCT, MAINTAIN, AND REPAIR PURPOSE: RECORDING DATE OCTOBER 26, 1969, IN BOOK 5244, PAGE 785 OF OFFICIAL RECORDS, NOT PLOTTABLE

- 4 EASEMENT GRANTED TO PETER SCULLY BUILDING CORPORATION FOR CONSTRUCTION, MAINTENANCE, AND REPAIR OF SANITARY SEWER: RECORDING DATE DECEMBER 30, 1979, IN BOOK 4742, PAGE 183 OF OFFICIAL RECORDS.

EASEMENT FOR MAINTENANCE, AND REPAIR OF STORM DRAIN: RECORDING DATE JANUARY 17, 1980, IN BOOK 5580, PAGE 154 OF OFFICIAL RECORDS.

EASEMENT DEED OF RECONVEYANCE: RECORDING DATE AUGUST 19, 1980, IN BOOK 5709, PAGE 581 OF OFFICIAL RECORDS. NOT PLOTTABLE

#### EXHIBIT A LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF THOUSAND OAKS, COUNTY OF VENTURA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 46, OF TRACT NO. 2343-01, IN THE CITY OF THOUSAND OAKS, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 67, PAGES 37 THROUGH 47, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES LYING WITHIN AND UNDER THAT PORTION OF SAID LAND LYING BELOW A DEPTH OF 500 FEET MEASURED VERTICALLY FROM THE SURFACE OF SAID LAND, WITHOUT HOWEVER ANY RIGHT TO ENTER UPON THE SURFACE OF SAID LAND NOR INTO THAT PORTION OF THE SUBSURFACE THEREOF, LYING ABOVE A DEPTH OF 500 FEET MEASURED VERTICALLY FROM SAID SURFACE.

PARCEL 2:

AN EASEMENT FOR THE CONSTRUCTION, MAINTENANCE, OPERATION AND REPAIR OF A SANITARY SEWER TO BE USED IN COMMON WITH THE OWNER OF LOT 45, OF TRACT NO. 2343-01, UNDER AND ACROSS THE FOLLOWING DESCRIBED REAL PROPERTY: A 10 FOOT WIDE STRIP OF LAND LYING ADJACENT TO THE COMMON LOT LINE OF LOT 45 AND 46 OF TRACT NO. 2343-01, RECORDED IN BOOK 67 PAGE 37, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER, VENTURA COUNTY, STATE OF CALIFORNIA, THE EASTERLY LINE OF WHICH IS DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF SAID COMMON LOT AND THE SOUTHERLY RIGHT-OF-WAY LINE OF WEST SKELTON CANYON CIRCLE, A RADIAL LINE TO SAID INTERSECTION BEARING NORTH 17°26' 26" EAST; THENCE IN A SOUTHERLY DIRECTION ALONG SAID COMMON LOT LINE TO THE EASTERLY TERMINUS AT THE COURSE SHOWN AS NORTH 82° 59' 00" WEST ON SAID MAP, THE WESTERLY LINE OF SAID EASEMENT TO BE PROLONGED OR SHORTENED SO AS TO TERMINATE ON THE SOUTHERLY RIGHT-OF-WAY LINE AT WEST SKELTON CANYON CIRCLE, AND THE SOUTHEASTERLY LOT LINE OF SAID LOT 45.

APN: 690-0-010-015 & 690-0-010-105

APN 690-0-010-105

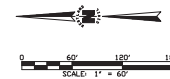
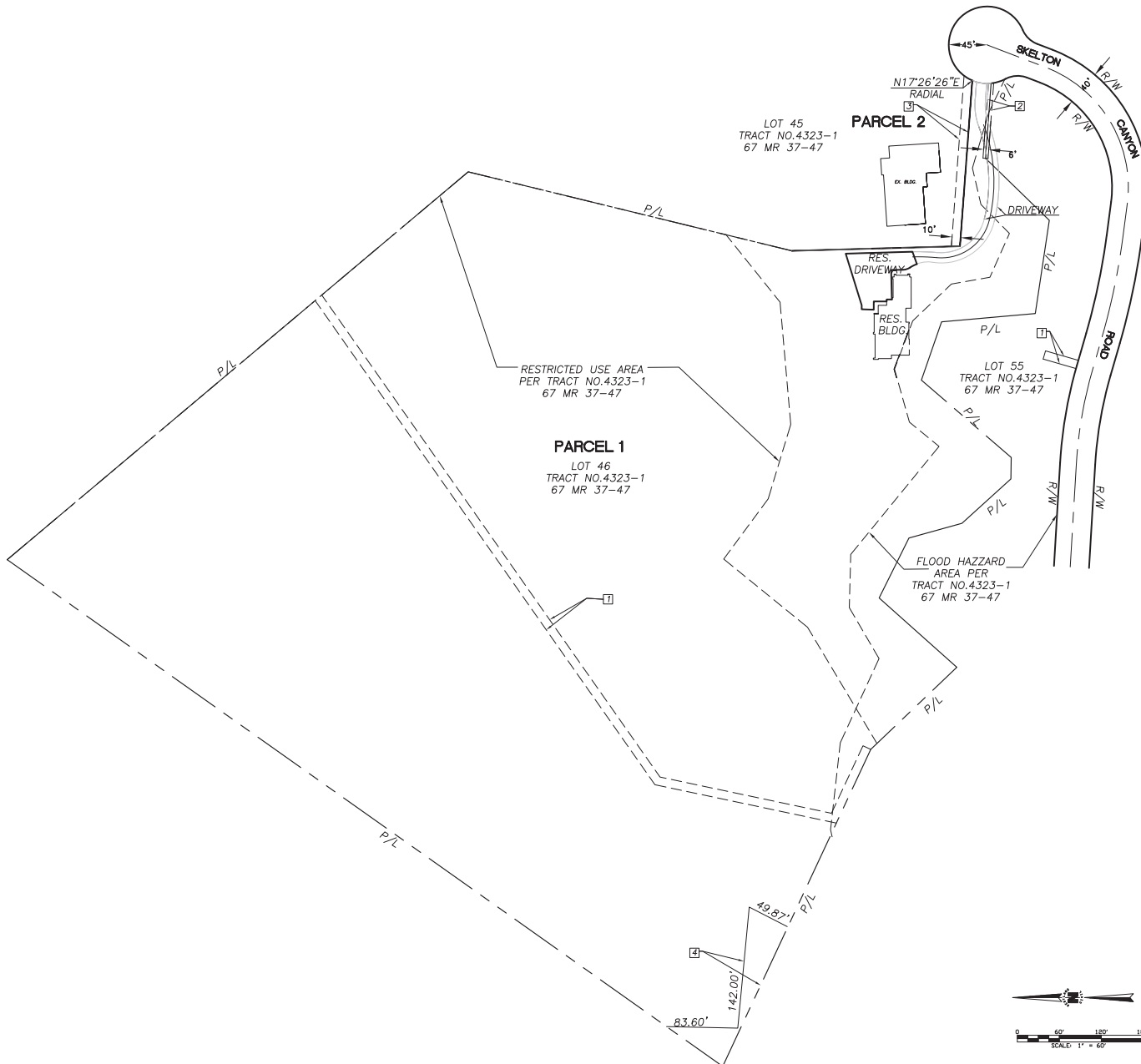
CITY OF THOUSAND OAKS  
PUBLIC WORKS DEPARTMENT

EASEMENT EXHIBIT  
LOT 46 TRACT 4323-1

FERRUZZA RESIDENCE

3948 SKELTON CANYON DRIVE  
THOUSAND OAKS, CA, 91360

SHEET 1 OF 1



PREPARED FOR  
**TRICIA FERRUZZA**  
2773 WESTHAM CIRCLE  
THOUSAND OAKS, CA 91360  
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ENGINEER'S SEAL

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(805) 488-1800 FAX: (805) 488-9128

REGISTERED ENGINEER NO. 27364

DATE

3/2/24



