

**landscape architect**

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Orange, CA 92868
Jacob Glaze
714 705-1374
jacob.glaze@kimley-horn.com

civil engineer:

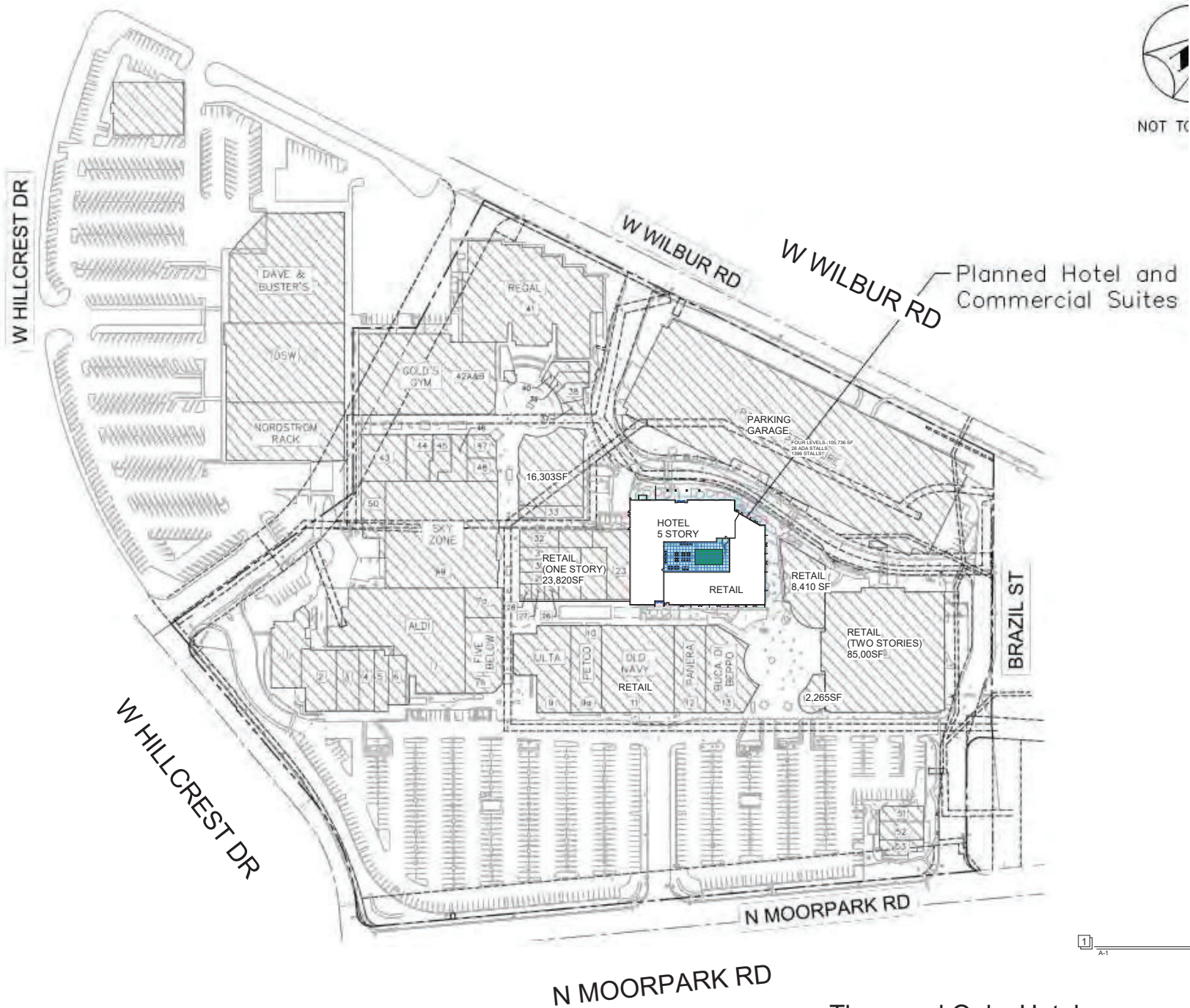
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architect:

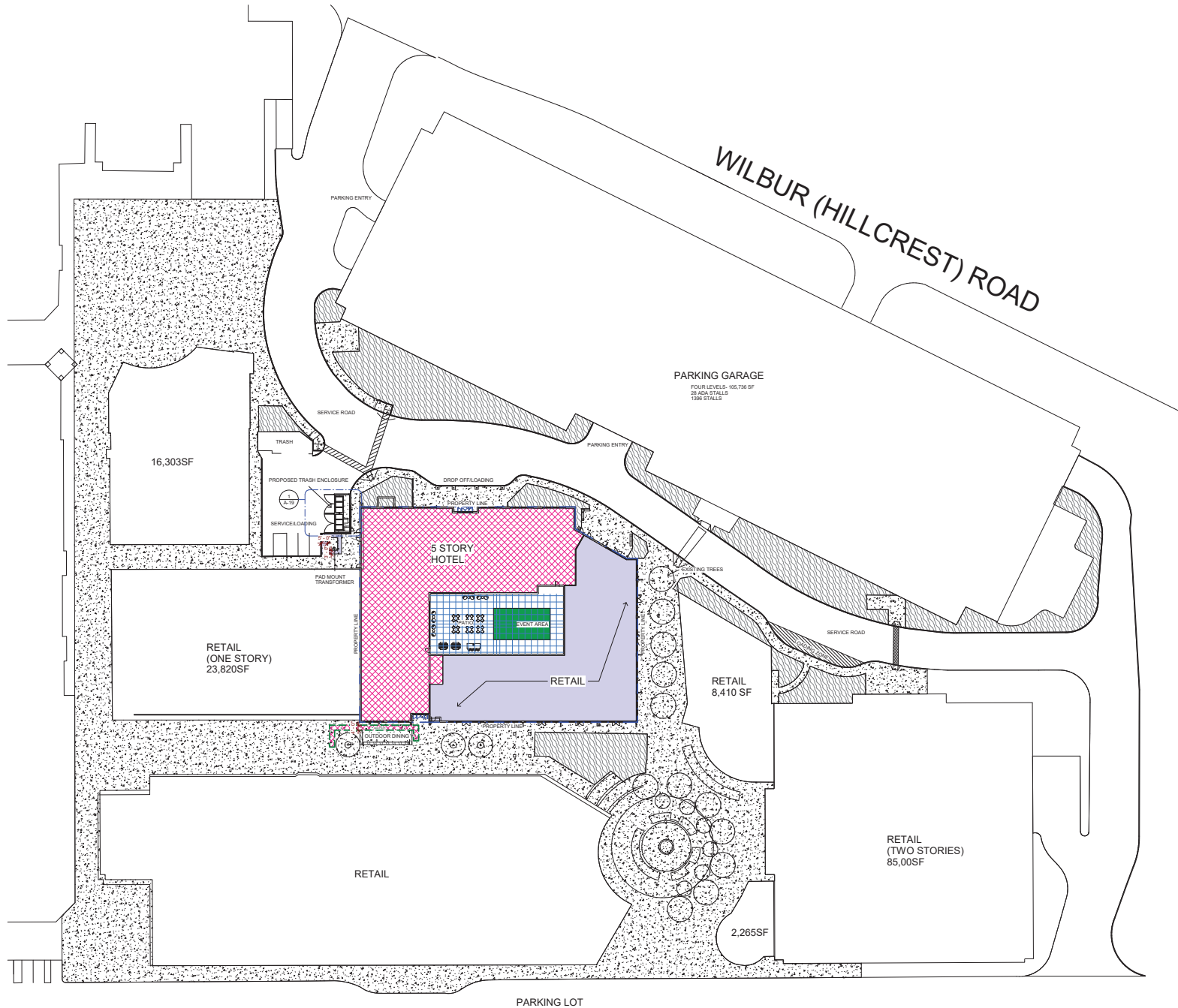
Robert F. Tuttle Architect, Inc.
38960 Vista Dawn Court
Temecula, CA 92592
Bob Tuttle
951 302-5444
robert.tuttle@rftarch.com

owner:

Greens Group
8815 Research Dr.
Irvine, CA 92618
Atman Kadakia
949 322-1760
atman.kadakia@greens.com



1 Master Site
A-1 1" = 60'-0"



Site Statistics

Address: Janss Marketplace
205 N Moorpark Rd
Thousand Oaks, CA 91360
APN: 525-0-030-470
Zone: Community Shopping Center (C-3)
Land Use: Commercial

Hotel-5 story
Homewood and Home 2

Lot Coverage:
Total 52,576SF (1.21 acres)
Building 35,922SF (.83 acres) 68.3%

Homewood	124
King Efficiency	40
King Efficiency wide	12
King Studio	72
Home 2	91
King	48
DQ	43

guest rooms 216 rooms

Hotel Gross Building Area:

First	17,410 s.f.
Second	28,893 s.f.
Third	28,893 s.f.
Fourth	28,893 s.f.
Fifth	28,893 s.f.
Total building	132,982 s.f.

Outdoor Courtyard 5,204 s.f.

retail pad area 13,308 s.f.

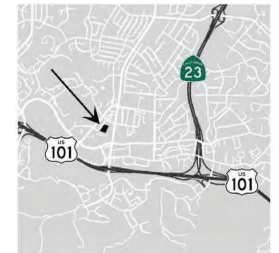
Parking required:

1.25/room	270 stalls
1/250SF of retail	54 stalls
Total	324 stalls

Parking provided:

Garage	1396 stalls(28 ADA)
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Location Map



1 A-1.1 Site
1" = 30'-0"

1" = 30'-0"

Greens
Irvine, California

Thousand Oaks Hotel

Thousand Oaks, California

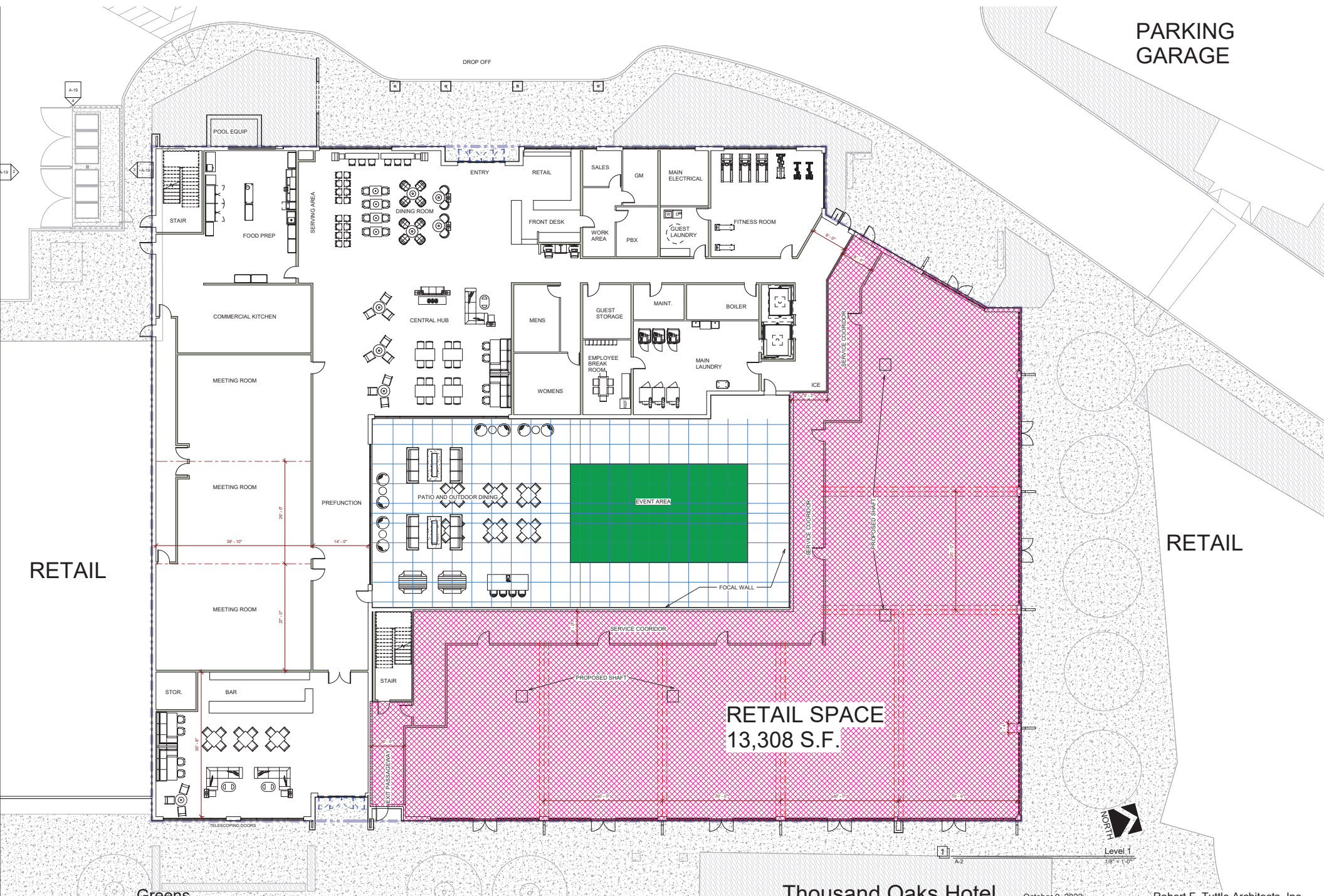
October 9, 2023

Site Plan

Robert F. Tuttle Architects, Inc.

911

A-1.1



PARKING
GARAGE

RETAIL

RETAIL

RETAIL SPACE
13,308 S.F.



1/8" = 1'-0"

Greens
Irvine, California

Thousand Oaks Hotel

Thousand Oaks, California

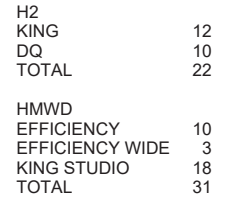
October 9, 2023

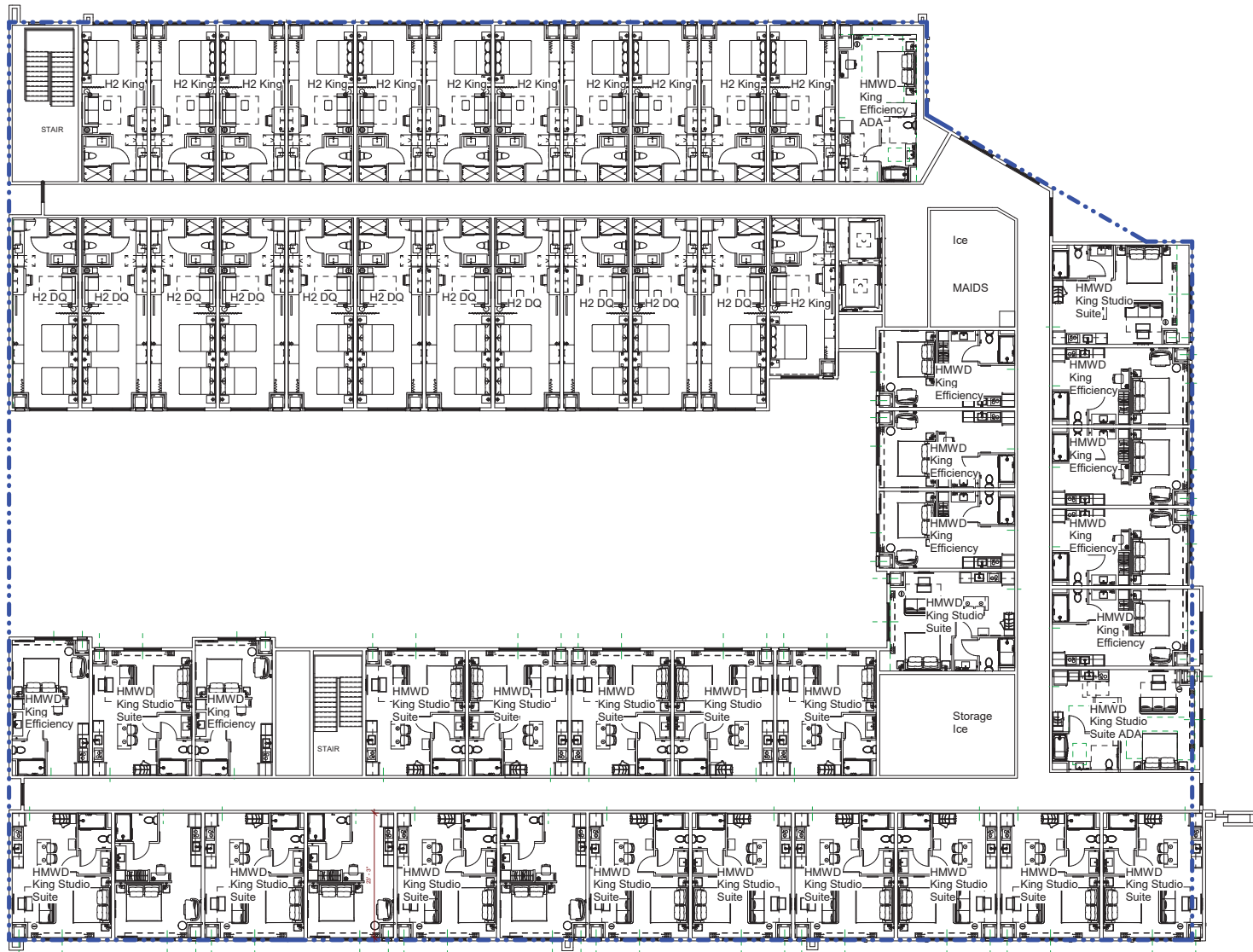
First Floor Plan

Robert F. Tuttle Architects, Inc.

911

A-2

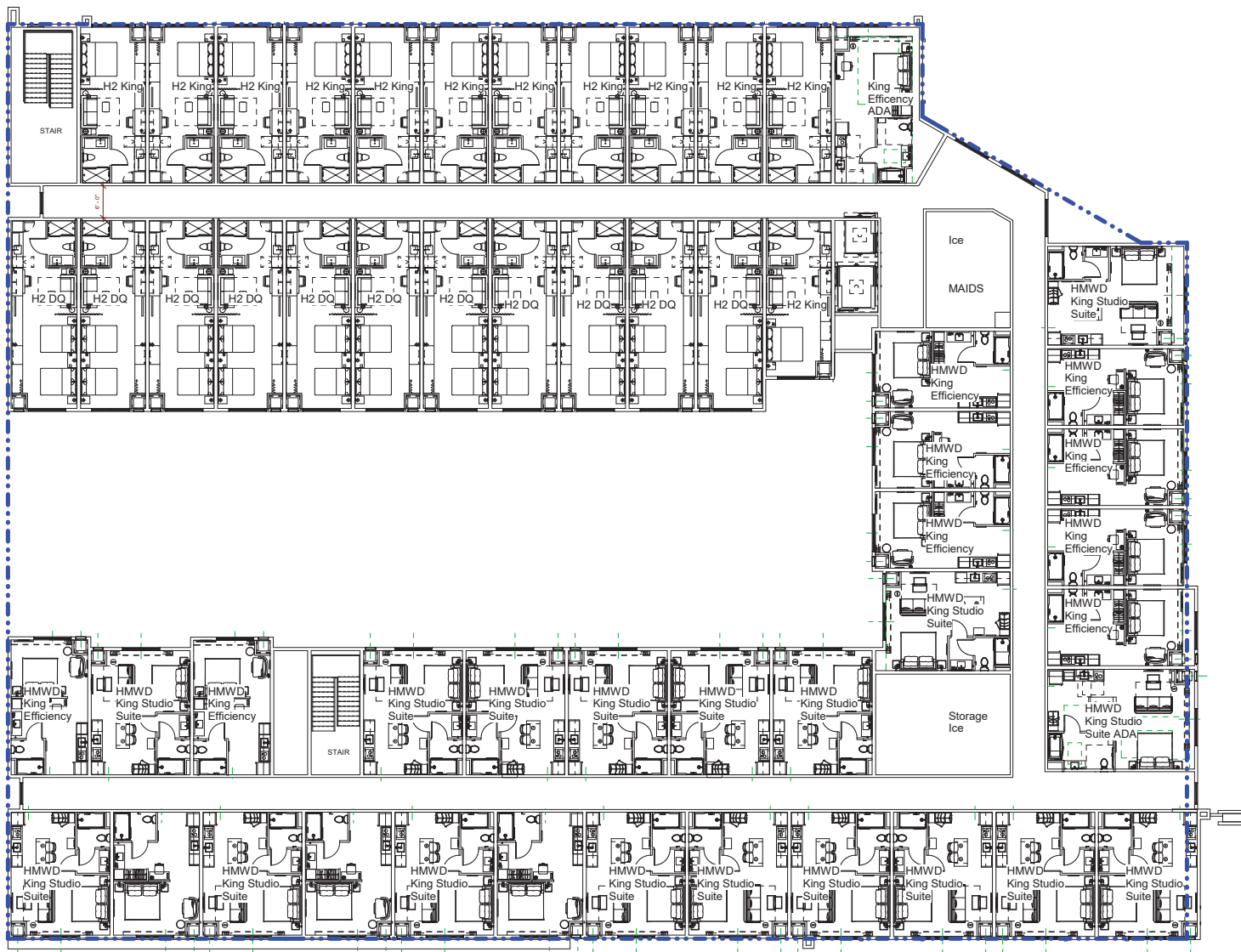




H2	12
KING	11
DQ	11
TOTAL	23
HMWD	10
EFFICIENCY	3
EFFICIENCY WIDE	18
KING STUDIO	31
TOTAL	



1 A-4 Level 3
1/8" = 1'-0"

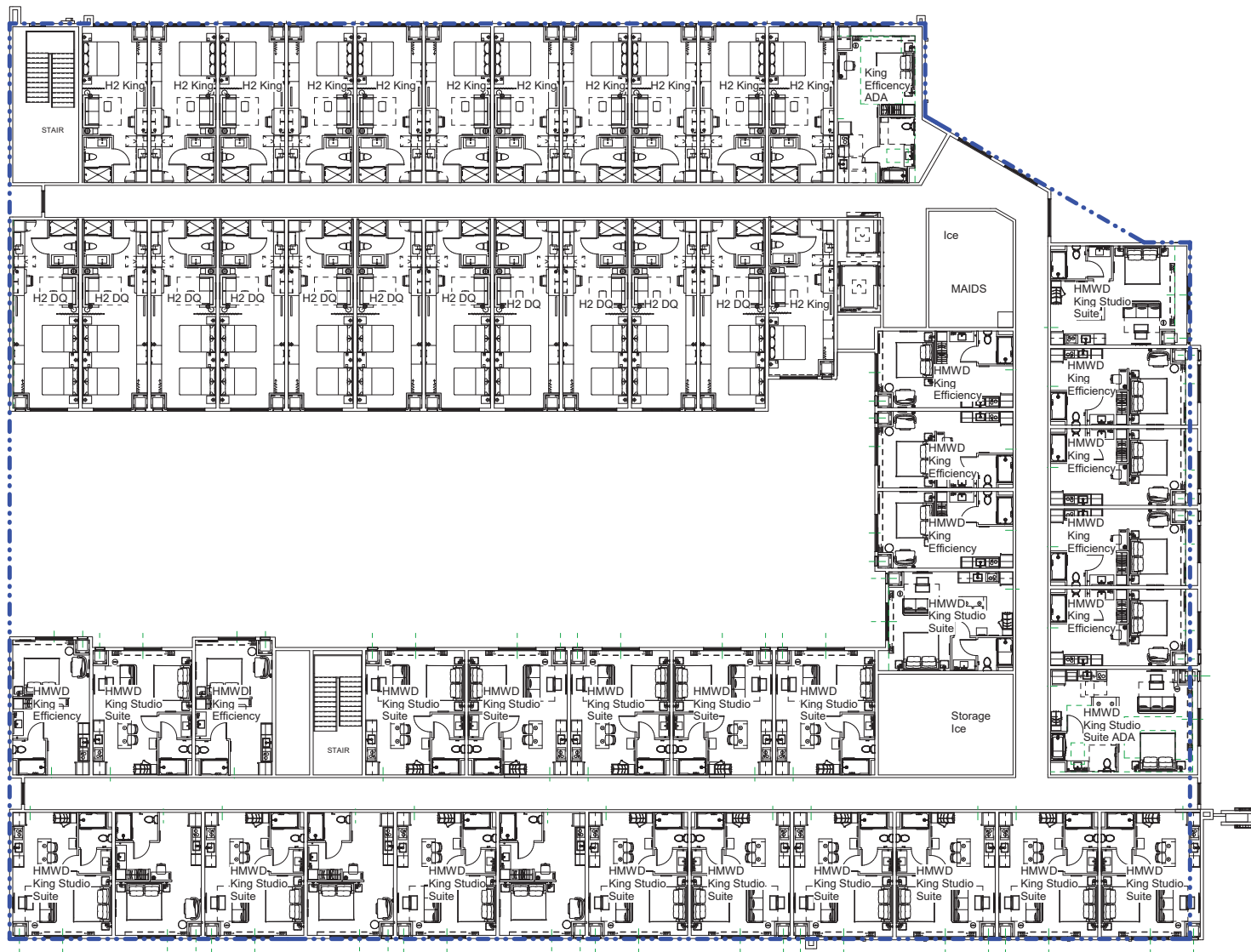


H2	
KING	12
DQ	11
TOTAL	23

HMWD	
EFFICIENCY	10
EFFICIENCY WIDE	3
KING STUDIO	18
TOTAL	31



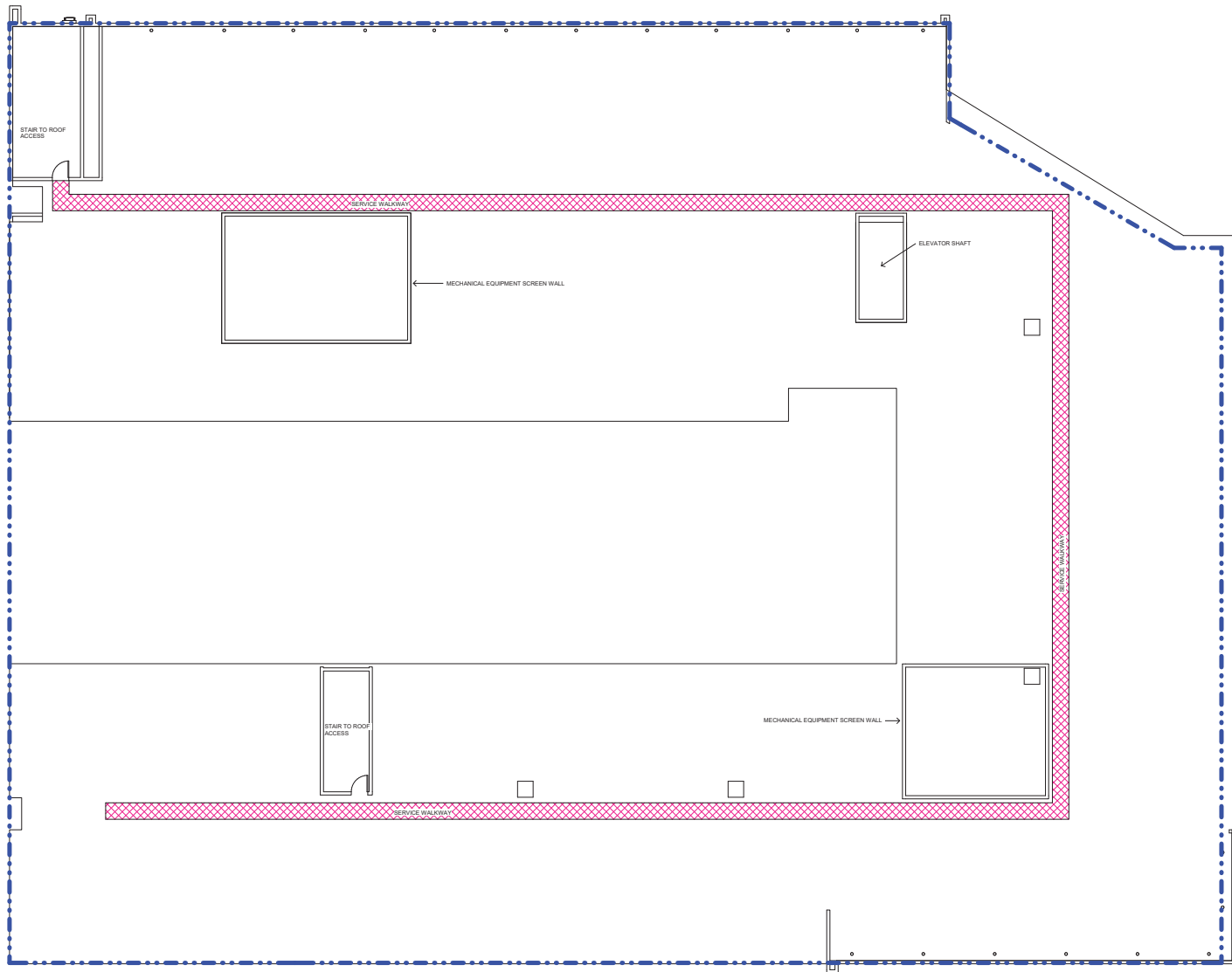
1/8" = 1'-0"
A-5
Level 4
1/8" = 1'-0"



H2	
KING	12
DQ	11
TOTAL	23
HMWD	
EFFICIENCY	10
EFFICIENCY WIDE	3
KING STUDIO	18
TOTAL	31

1] A-6





1 Roof
A-7
1/8" = 1'-0"



1] East Elevation
A-8
1/8" = 1'-0"



KEY PLAN



1 North Elevation
A-9
1/8" = 1'-0"



KEY PLAN



GROUND PERSPECTIVE VIEW - MALL COURTYARD



PERSPECTIVE VIEW - HOTEL AND RETAIL ENTRY



AERIAL VIEW - COURTYARD OUTDOOR DINING



AERIAL VIEW - POOL AND EVENT AREA



01 Tile MSI 12x24 Matte Porcelain Tile Dimensions - Gris	02 Siding MSI 6"x40" Porcelain Tile Fauna "XL Cyrus"	03 Stucco Field Match Dunn Edwards DE6225 "Fossil" Smooth Trowel Finish	04 Stucco Accent Match Dunn-Edwards DE6370 "Charcoal Smudge" Fine Sand Finish	Canopy & Doors Painted Steel Dunn Edwards DE 6384 "Iron Fixture"	06 Window Frames Old Castle/Milguard Black Anodized Aluminum	07 Glazing 1" Double Glazed Low-E Insulated Clear	08 Louvers Wood -Timber "Ironwood"	09 Pavement match existing Janns Market



PEDESTRIAN CANOPY NOD TO EXISTING CANOPY



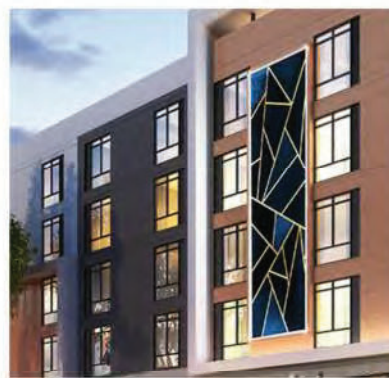
BLACK ALUMINUM STOREFRONT SYSTEM



WOOD LOUVERS



MATERIAL TRANSITIONS



STEEL FRAME WITH ALUMINUM LOUVER CANOPY



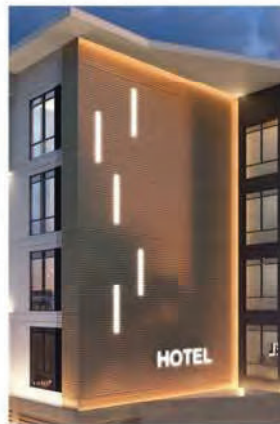
BRACKET SIGNAGE





METAL CANOPY WITH
NEGATIVE SPACE FOR LIGHT

STONE VENEER



COMPOSITE WOOD SIDING



JANSS MARKETPLACE

HOME2 AND HOMEWOOD SUITES HOTEL WITH RETAIL

LINE OF SIGHT DRAWINGS:

1. VIEW FROM N MOORPARK RD AND BRAZIL ST INTERSECTION
2. VIEW FROM MOORPARK RD AND HILLCREST DR INTERSECTION
3. VIEW FROM W WILBUR RD AND MARIN ST INTERSECTION
4. VIEW FROM INTERIOR MARKETPLACE
5. VIEW FROM N MOORPARK RD (OLD NAVY ENTRANCE)
6. VIEW FROM W HILLCREST DR (NORDSTROM PARKING ENTRANCE)





LINE OF SIGHT 1



LINE OF SIGHT 2



LINE OF SIGHT 3



LINE OF SIGHT 4

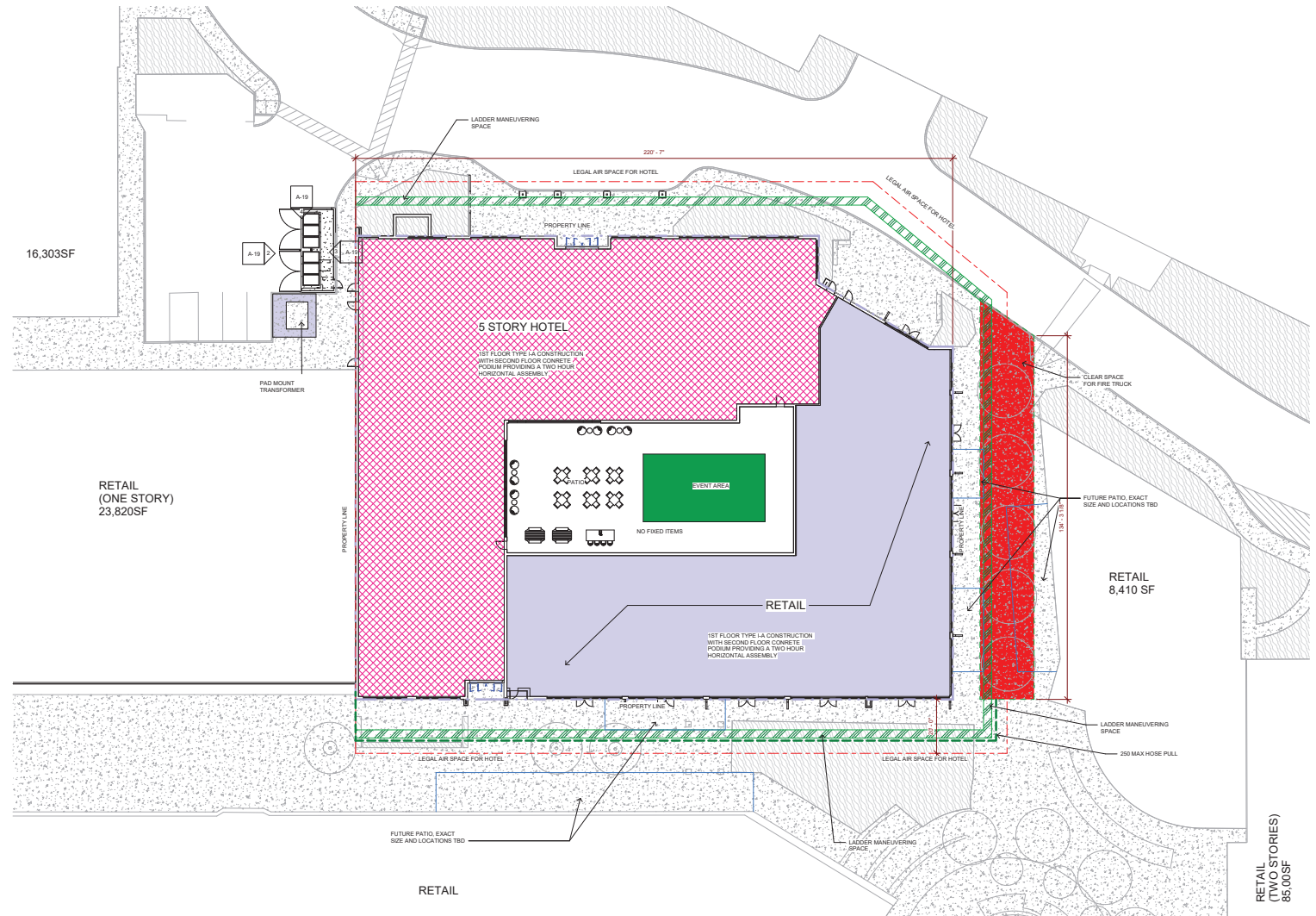


LINE OF SIGHT 5



LINE OF SIGHT 6

PARKING GARAGE



Site Code Analysis
A-15
1/16" = 1'-0"

1/16" = 1'-0"

10/9/2023 1:41:32 PM

Greens
Irvine, California

Thousand Oaks Hotel

Thousand Oaks, California

October 9, 2023

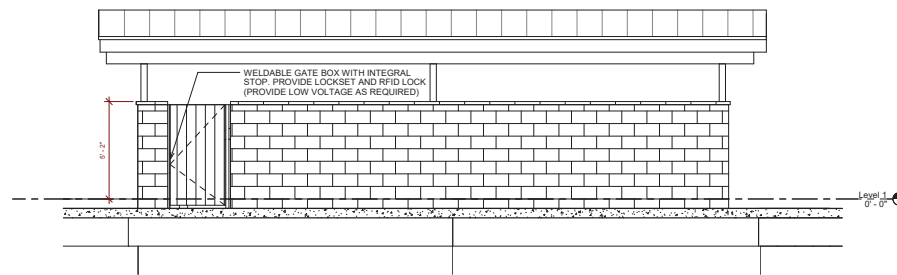
Site Code Analysis

Robert F. Tuttle Architects, Inc.

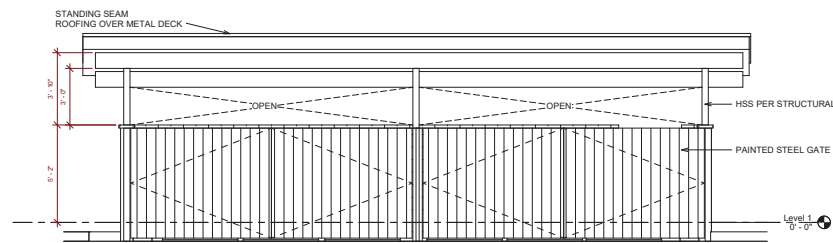
911

A-15

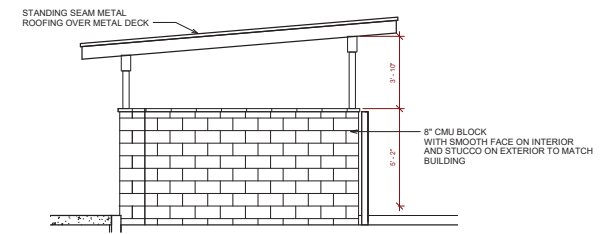




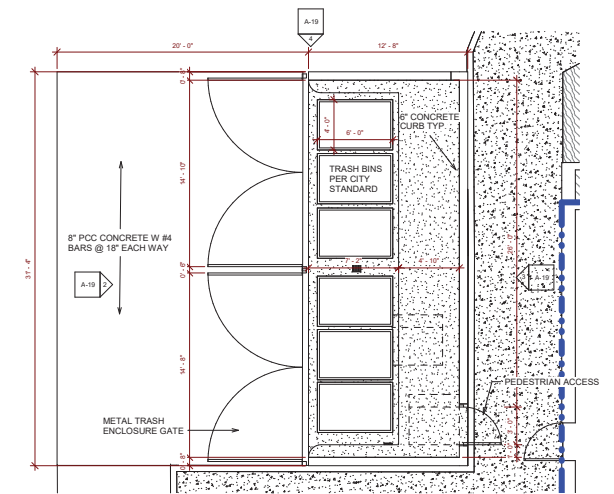
3 Trash Enclosure Rear Elevation
A-19 3/8" = 1'-0"



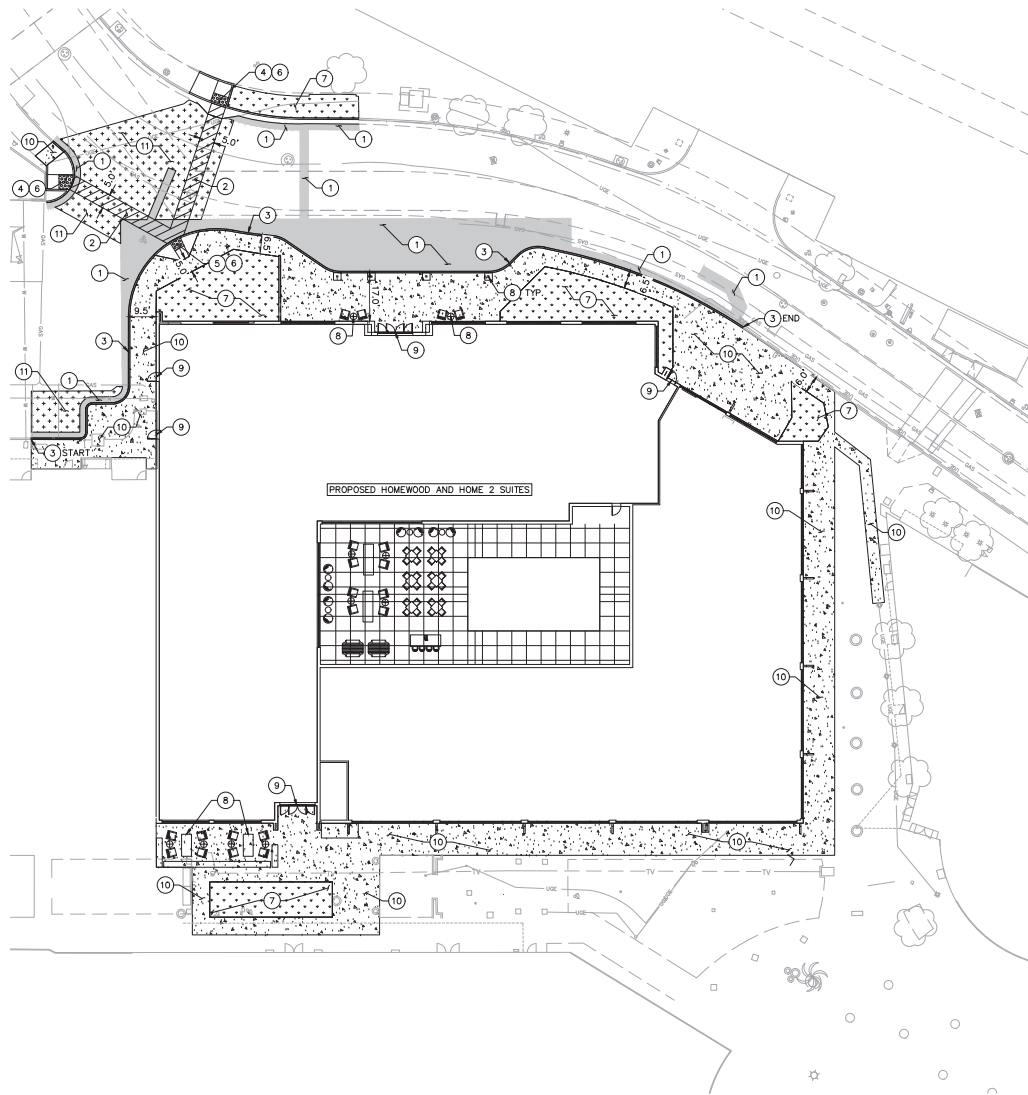
2 Trash Enclosure Front Elevation
A-19 3/8" = 1'-0"



4 Trash Enclosure Side Elevation
A-19 3/8" = 1'-0"



1 Enlarged Trash Enclosure
A-19 1/4" = 1'-0"



LEGEND

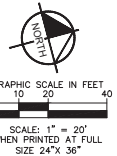
---	PROPERTY LINE
[Solid Grey]	ASPHALT PAVING
[Dotted Pattern]	CONCRETE SIDEWALK
[Cross-hatched Pattern]	LANDSCAPING
[Stippled Pattern]	1" MILL AND OVERLAY

DATA SUMMARY

APN:	525-0-030-470
ZONING DISTRICT:	COMMUNITY SHOPPING CENTER ZONES (C-3)
LAND USE:	COMMERCIAL
LOT COVERAGE:	52,576 S.F. (1.21 AC)
TOTAL DISTURBED AREA:	36,242 S.F. (0.83 AC) 76.6%
BUILDING AREA:	

KEY NOTES:

- 1 PROPOSED ASPHALT PAVEMENT.
- 2 PROPOSED ACCESSIBLE PATH--OF--TRAVEL.
- 3 PROPOSED CONCRETE CURB.
- 4 PROPOSED IN-LINE ACCESSIBLE CURB RAMP.
- 5 PROPOSED DIAGONAL ACCESSIBLE CURB RAMP.
- 6 PROPOSED CAST-IN-PLACE TRUNCATED DOMES.
- 7 PROPOSED LANDSCAPING TO MATCH EXISTING.
- 8 PROPOSED ARCHITECTURAL FEATURE. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 9 PROPOSED DOOR. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 10 PROPOSED CONCRETE SIDEWALK.
- 11 PROPOSED 1" MILL AND OVERLAY.



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WWW.KIMLEY-HORN.COM

MARK	REVISIONS	BY	APPR.	DATE

BENCH MARK:

APPROVED _____ 2020

SENIOR CIVIL ENGINEER
REGISTERED CIVIL ENGINEER NO. _____
DRAWN BY: KC
CHECKED BY: JSG
RECOMMENDED BY: JSG

CITY OF THOUSAND OAKS

IAN'S MARKETPLACE
THOUSAND OAKS, CA 91360

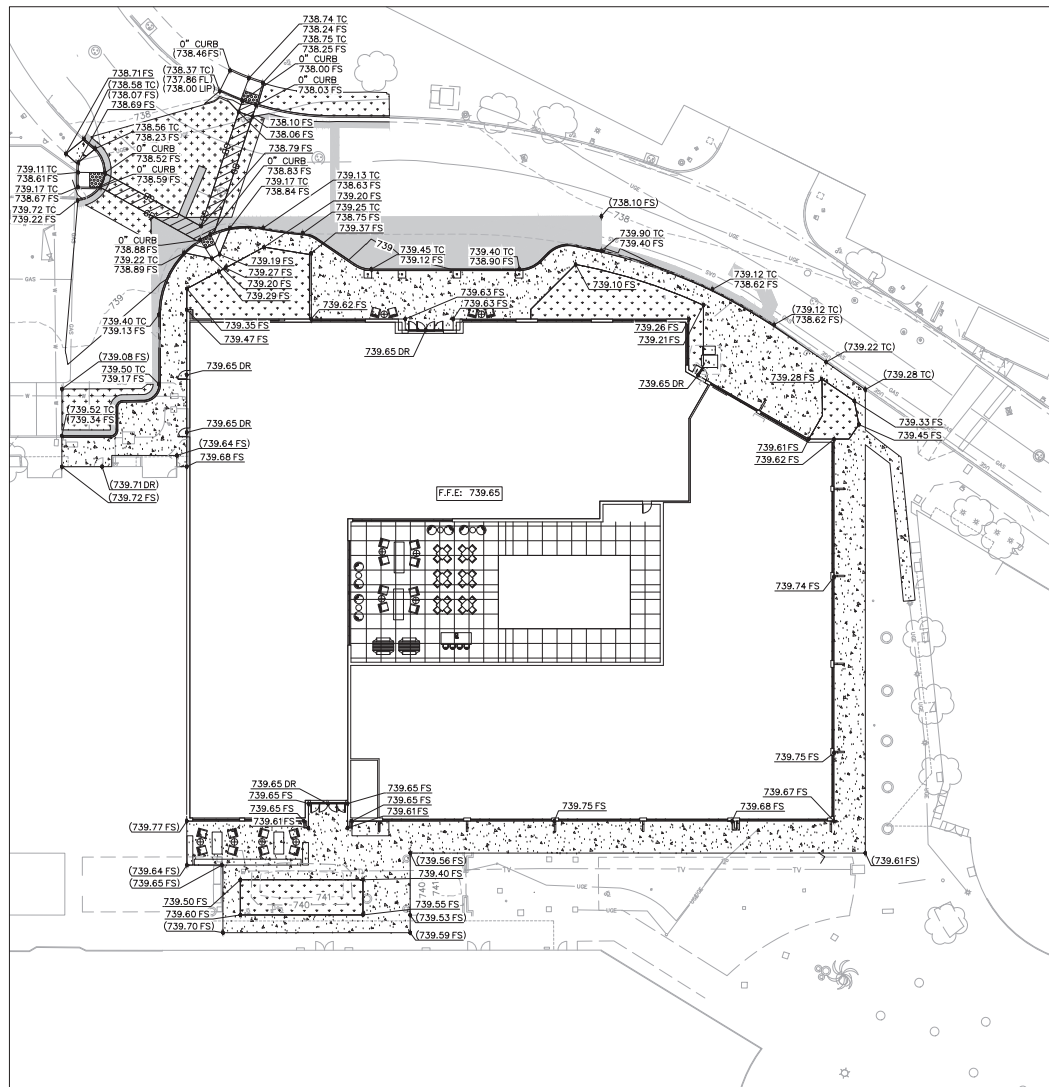
CONCEPTUAL SITE PLAN

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DRAWING NO.

SHEET 1 OF 1 SHEETS

W.O. NO.

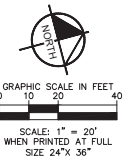


LEGEND

---	PROPERTY LINE
[Pattern]	ASPHALT PAVING
[Pattern]	CONCRETE SIDEWALK
[Pattern]	LANDSCAPING
[Pattern]	1" MILL AND OVERLAY
(738.95 TC) (738.45 FS)	EXISTING GRADE
(738.95 TC) (738.45 FS)	PROPOSED GRADE
--- 738 ---	EXISTING CONTOUR
--- 738 ---	PROPOSED CONTOUR

EARTHWORK SUMMARY

CUT: 84 CY
 FILL: 28 CY
 NET: 56 CY (CUT)



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BENCH MARK:				

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SENIOR CIVIL ENGINEER
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 DRAWN BY: JC
 CHECKED BY: JSG
 RECOMMENDED BY: JSG

CITY OF THOUSAND OAKS

JANN'S MARKETPLACE
 THOUSAND OAKS, CA 91360

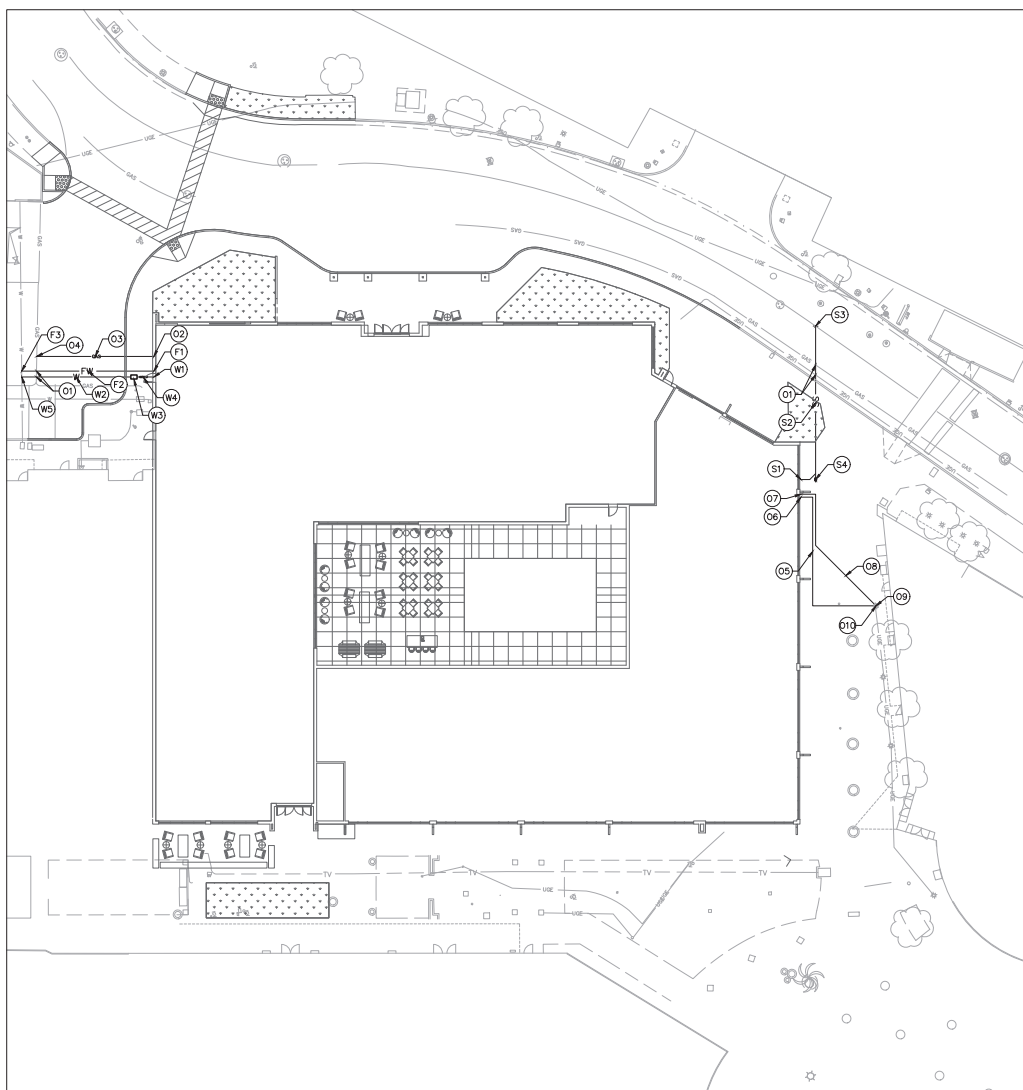
CONCEPTUAL GRADING PLAN

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1 SHEETS

W.O. NO.



LEGEND

---	PROPERTY LINE	---	PROPOSED SEWER LINE
---	EXISTING GAS LINE	---	PROPOSED WATER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE	---	PROPOSED FIRE WATER LINE
---	EXISTING WATER LINE	---	PROPOSED ELECTRIC LINE
---	EXISTING TELEPHONE LINE	---	PROPOSED GAS LINE
---	EXISTING FLOW LINE	---	PROPOSED TELECOM LINE

UTILITY CONTACTS

GAS: SOUTHERN CALIFORNIA GAS 8400 DAKOTA AVENUE CHATSORTH, CA PHONE: (800) 427-2200	ELECTRICAL: SOUTHERN CALIFORNIA EDISON 3589 FOOTHILL DRIVE THOUSAND OAKS, CA 91360 PHONE: (800) 655-4555	WATER: CALIFORNIA-AMERICAN WATER 2439 W HILLCREST DR NEWBURY PARK, CA 91360 PHONE: (805) 498-1266
TELEPHONE: FRONTIER COMMUNICATIONS 4500 THOUSAND OAKS BLVD WESTLAKE VILLAGE, CA 91362 PHONE: (805) 413-1390	SEWER: CITY OF THOUSAND OAKS 2100 THOUSAND OAKS BOULEVARD THOUSAND OAKS, CA 91320 PHONE: (805) 449-2100	

DOMESTIC WATER

- (W1) BUILDING POINT OF CONNECTION (5'-FT FROM BUILDING FACE). REFER TO MEP PLANS FOR CONTINUATION.
- (W2) INSTALL 2" PVC SCHEDULE 40 DOMESTIC WATER PIPE.
- (W3) INSTALL 2" METER BOX.
- (W4) INSTALL 2" BACKFLOW PREVENTOR.
- (W5) TIE INTO EXISTING WATER LINE. COORDINATE WITH LOCAL WATER PURVEYOR.

FIRE WATER

- (F1) BUILDING POINT OF CONNECTION (5'-FT FROM BUILDING FACE). REFER TO MEP PLANS FOR CONTINUATION.
- (F2) INSTALL 6" FIRE WATER LINE.
- (F3) CONNECT TO EXISTING FIRE WATER LINE.

SEWER

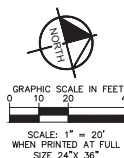
- (S1) BUILDING POINT OF CONNECTION (5'-FT FROM BUILDING FACE). REFER TO PLUMBING PLANS FOR CONTINUATION.
- (S2) INSTALL 6" SDR-35 PVC SEWER LATERAL WITH A SLOPE OF 1.0% MINIMUM.
- (S3) CONNECT TO EXISTING SANITARY SEWER LINE STUB.
- (S4) INSTALL CLEANOUT.

OTHER UTILITIES

- (U1) UTILITY CROSSING.
- (U2) PROPOSED GAS BUILDING POINT OF CONNECTION (5'-FT FROM BUILDING FACE). REFER TO MEP PLANS FOR CONTINUATION.
- (U3) PROPOSED UNDERGROUND 3" GAS LINE.
- (U4) TIE INTO EXISTING GAS LINE. REFER TO GAS PLANS FOR MORE INFORMATION.
- (U5) PROPOSED UNDERGROUND ELECTRICAL LINE. REFER TO MEP PLANS FOR MORE INFORMATION.
- (U6) PROPOSED UNDERGROUND ELECTRICAL BUILDING POINT OF CONNECTION. REFER TO MEP PLANS FOR CONTINUATION.
- (U7) PROPOSED TELEPHONE BUILDING POINT OF CONNECTION (5'-FT FROM BUILDING FACE). REFER TO MEP PLANS FOR MORE INFORMATION.
- (U8) PROPOSED UNDERGROUND TELEPHONE LINE. REFER TO MEP PLANS FOR MORE INFORMATION.
- (U9) TIE INTO EXISTING DOWN POLE FOR TELEPHONE POINT OF CONNECTION. COORDINATE WITH LOCAL UTILITY PURVEYOR FOR MORE INFORMATION.
- (U10) TIE INTO EXISTING DOWN POLE FOR ELECTRICAL POINT OF CONNECTION. COORDINATE WITH LOCAL UTILITY PURVEYOR.

NOTE

- FRANCHISE UTILITY LOCATIONS ARE APPROXIMATE AND SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL COORDINATE FINAL DESIGN AND INSTALLATION WITH PROVIDERS.
- REFER TO ARCHITECTURAL/MEP PLANS FOR ALL UTILITY BUILDING CONNECTION POINTS.
- GENERAL CONTRACTOR SHALL CONDUCT FLOW TEST AND PROVIDE TO LOCAL WATER PURVEYOR PRIOR TO INSTALL.
- GENERAL CONTRACTOR SHALL VERIFY ELEVATIONS AND UTILITY CROSSINGS PRIOR TO LAYING PIPE.
- ALL UTILITY TRENCH REPAIRS SHALL BE PERFORMED USING CITY OF THOUSAND OAKS STANDARD PLANS.



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CHECKED BY: JSG
RECOMMENDED BY: JSG

CITY OF THOUSAND OAKS

JANIS MARKETPLACE
THOUSAND OAKS, CA 91360

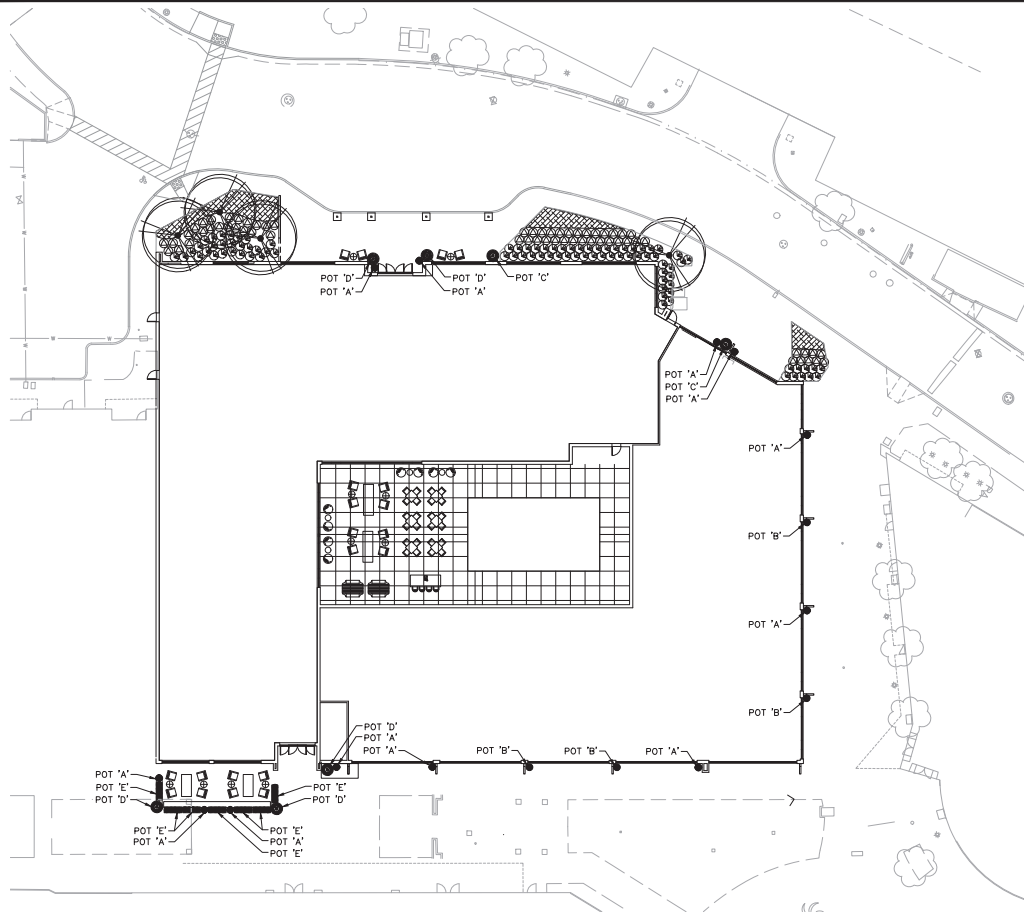
CONCEPTUAL UTILITY PLAN

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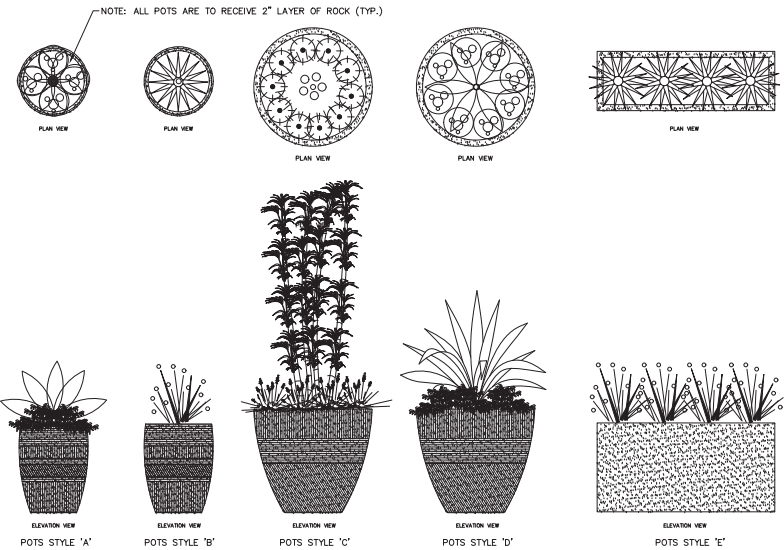
SHEET **1** OF
1 SHEETS



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT/SPREAD	CAL	WUCOLS	SIZE
	4	ULMUS PARVIFOLIA / LACEBARK ELM	24" BOX			MODERATE	
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	WUCOLS	SIZE	
	12	AGAVE ATTENUATA / VARIEGATA / VARIEGATED AGAVE	5 GAL.	AS SHOWN	LOW		
	5	BAMBUA MULTIPLEX 'GOLDEN GODDESS' / GOLDEN GODDESS BAMBOO	5 GAL.	AS SHOWN	MODERATE		
	32	CHONDRPETALUM TECTORUM 'EL CAMPO' / CAPE RUSH	5 GAL.	AS SHOWN	LOW		
	2	CORDYLINE X 'FESTIVAL GRASS' / DRACAENA	5 GAL.	AS SHOWN	LOW		
	50	FESTUCA GLAUCA / BLUE FESCUE	5 GAL.	AS SHOWN	LOW		
	64	SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO	5 GAL.	AS SHOWN	LOW		
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	WUCOLS	SIZE	
	87	LOMANDRA LONGIFOLIA 'BREEZE' TM / BREEZE MAT RUSH	5 GAL.	3' O.C.	LOW		
	61	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	5 GAL.	3' O.C.	LOW		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	WUCOLS	SIZE	
	117	CAREX DIVULSA / EUROPEAN GREY SEDGE	5 GAL.	2' O.C.	LOW		

NOTE: 13 EXISTING TREE ARE TO BE REMOVED.



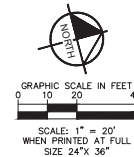
POTS A&B: QCP, QR-BAY2836P
COLOR: TBD
QTY TOTAL: 15



POTS C&D: QCP, QR-BAY4842P
COLOR: TBD
QTY TOTAL: 7



POT E: QCP, QS-CAL247236P
COLOR: TBD
QTY TOTAL: 7



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DRAWN BY: KC
CHECKED BY: JSG
RECOMMENDED BY: JSG

CITY OF THOUSAND OAKS

JANNS MARKETPLACE
THOUSAND OAKS, CA 91360

**CONCEPTUAL
LANDSCAPE PLAN**

FOR CITY USE ONLY: FILE NO. _____ W.O. NO. _____

DRAWING NO. _____

SHEET 1 OF 1 SHEETS

GENERAL NOTES

1. JS & ASSOCIATES SHALL IN NO WAY ASSUME RESPONSIBILITY FOR THE ELECTRICAL DESIGN OF THIS PROJECT. JSA LIGHTING DESIGN SHALL BE INCORPORATED AND VERIFIED BY ELECTRICAL ENGINEER OF RECORD FOR COMPLIANCE WITH ALL LEGAL, INDUSTRY, AND PROJECT-SPECIFIC REQUIREMENTS & STANDARDS INCLUDING WITHOUT LIMITATION OF THE FOLLOWING:

1.1. ALL APPLICABLE BUILDING CODES.

1.2. ALL APPLICABLE SPECIALTY CODES INCLUDING THE MOST CURRENT ISSUES & SUPPLEMENTS.

1.3. THE PROJECT MANUAL AND ASSOCIATED SPECIFICATIONS.

2. WHEN INTERPRETING THESE DRAWINGS, THE FOLLOWING GENERAL RULES APPLY:

2.1. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.

2.2. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE. IT IS THE READER'S RESPONSIBILITY TO VERIFY & FIELD-MEASURE DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.

2.3. SPECIFIC NOTES & DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES & TYPICAL DETAILS.

2.4. WORK NOT PARTICULARLY SHOWN OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE SHOWN & SPECIFIED.

2.5. PLANS ARE CONSIDERED DIAGRAMMATIC IN NATURE & INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS.

2.6. WORK SHOWN AS "NIC" OR "NOT IN SCOPE" IS FOR REFERENCE ONLY.

3. ELECTRONIC VERSIONS OF THESE PLANS ARE SUBJECT TO THE SAME PROVISION AS OTHER INSTRUMENTS OF SERVICE PREPARED BY OR ON THE BEHALF OF JS & ASSOCIATES, INCLUDING WITHOUT LIMITATION THEIR COMMON LAW, STATUTORY OR OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. A RECIPIENT IS GRANTED AT MOST A TRANSFERABLE, NON-EXCLUSIVE LICENSE TO REUSE THE PLANS SOLELY FOR PROJECT PURPOSES, AND NO RECIPIENT IS AUTHORIZED TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE. ANY OTHER USE FOR ANY OTHER PURPOSE COULD CONSTITUTE ACTIONABLE PLAGIARISM. ANY ELECTRONIC DOCUMENTS WILL BE PROVIDED IN THE RESPONSIBLE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS WITH NO GUARANTEE OF THE ABSENCE OF VIRUSES OR OTHER HARMFUL MATERIAL, OR OF COMPATIBILITY WITH ANY RECIPIENT'S SOFTWARE OR HARDWARE SO THAT ANY USE WITH OR CONVERSION TO THE OTHER FORMS OR CONVENTIONS, OR THE USE WITH ANY PARTICULAR SOFTWARE OR HARDWARE, IS AT THE RECIPIENT'S SOLE RISK.

4. WHERE ITEMS SHOWN ON THESE DRAWINGS SUCH AS LIGHTS, RECEPTACLES, ETC. ARE TO PENETRATE ANY BUILDING CEILINGS, WALLS, STRUCTURAL FRAMING, ETC., IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF ANY ELECTRICAL WORK.

5. LIGHTING FIXTURES:

5.1. LIGHTING FIXTURES SPECIFIED IN THESE DRAWINGS SHALL NOT BE SUBSTITUTED WITHOUT THE EXPRESSED AUTHORIZATION OF AN APPROPRIATE OWNER.

5.2. LIGHTING FIXTURES & CONTROLS SHALL BE DELIVERED TO THE SITE IN NEW CONDITION ONLY.

5.3. ALL EXIT SIGNS & EMERGENCY LIGHTING SHALL COMPLY WITH UL 924 AND OPERATE FOR A MINIMUM OF 90 MINUTES IN EMERGENCY MODE.

5.4. ALL LIGHTING FIXTURES SHALL BE UL OR ETL LISTED AND HAVE APPROPRIATE LABORATORY TESTING.

6. ALL MEASUREMENTS, HEIGHTS, BACKGROUNDS, FINISHES SHALL BE VERIFIED BY INTERIOR DESIGNER AND ARCHITECT OF RECORD.

7. DIMENSIONS:

7.1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CONCRETE OR MASONRY, FACE OF FINISH, OR CENTERLINE OF GRIDS.

7.2. UNLESS OTHERWISE NOTED OR INDICATED, ALL VERTICAL DIMENSIONS ARE FROM FINISH FLOOR.

7.3. DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE-SCALE DRAWINGS & DETAILS TAKE PRECEDENCE OVER SMALLER-SCALE DRAWINGS.

ELECTRICAL SYMBOLS LEGEND

	RECESSED FIXTURE - ROUND		JUNCTION BOX
	RECESSED WALL WASH FIXTURE - ROUND		OCCUPANCY SENSOR
	RECESSED FIXTURE - SQUARE		PHOTOCELL (DAYLIGHT HARVESTING)
	RECESSED WALL WASH FIXTURE - SQUARE		POWER PACK: ON/OFF RELAY
	PENDANT FIXTURE		POWER PACK: 0-10V DIMMING
	2x2 LAY IN FIXTURE		POWER PACK: RECEPTACLE LOAD CONTROL
	2x4 LAY IN FIXTURE		PANELBOARD
	1x4 SURFACE-MOUNTED FIXTURE		LIGHTING CONTROL PANEL
	HATCHING INDICATES EMERGENCY FIXTURE		LIGHTING INVERTER
	LED TAPE LIGHT / RIBBON LIGHT		DUPLEX RECEPTACLE
	LINEAR PENDANT FIXTURE		1/2 HOT DUPLEX RECEPTACLE
	LINEAR RECESSED FIXTURE		ELECTRIC BATHROOM EXHAUST FAN
	WALL-MOUNTED STRIP LIGHT		INDICATES PLUG-IN LIGHT FIXTURE
	ELECTRIC BACKLIT MIRROR		WALL SWITCH
	SQUARE CANOPY LIGHT	<div>5 STANDARD WALL ON/OFF SWITCH</div> <div>os OCCUPANCY SENSOR</div> <div>3 THREE WAY</div> <div>c CAPTIVE CARD SWITCH</div> <div>k TAMPER-PROOF OR KEY OPERATED</div> <div>a1 ROOM CONTROLLER: ON/OFF</div> <div>a2 ROOM CONTROLLER: 0-10V DIMMING</div> <div>b1 ROOM CONTROLLER: 1 BUTTON (NO LOAD)</div> <div>b2 ROOM CONTROLLER: 2 BUTTON (NO LOAD)</div> <div>b4 ROOM CONTROLLER: 4 BUTTON (NO LOAD)</div> <div>b8 ROOM CONTROLLER: 8 BUTTON (NO LOAD)</div>	
	POST-TOP LIGHT / PIER-MOUNT LIGHT		
	LIGHT BOLLARD (ARROW INDICATES DIRECTION)		
	SPOTLIGHT / UPLIGHT		
	IN-GROUND WELL LIGHT		
	CEILING MOUNTED, UPPER EXIT SIGN SHADED REGION INDICATES FACE	+44"	INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR OR ABOVE FINISHED GRADE TO CENTER OF DEVICE.
	WALL MOUNTED, LOWER EXIT SIGN SHADED REGION INDICATES FACE		INDICATES VIEW # ON SHEET LTG-#.#
	EMERGENCY LIGHT FIXTURE		KEYED NOTED

ABBREVIATIONS

(D)	DEMO
(E)	EXISTING
(F)	FUTURE
(N)	NEW
(R)	RELOCATED
AC	ABOVE COUNTER, 4" ABOVE BACKSPLASH
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AL	ALUMINUM
BLG	BELOW GRADE
BOD	BOTTOM OF DEVICE
COD	CENTER OF DEVICE
CU	COPPER
EC	ELECTRICAL CONTRACTOR
GC	GENERAL CONTRACTOR
GEC	GROUNDING ELECTRODE CONDUCTOR
GES	GROUNDING ELECTRODE SYSTEM
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GND	GROUND
MC	MECHANICAL CONTRACTOR
NL	NIGHT LIGHT
TYP	TYPICAL
UG	UNDERGROUND
UN	UNLESS OTHERWISE NOTED
UTW	UNSHIELDED TWISTED PAIR
WP	WEATHERPROOF
XFMR	TRANSFORMER

SHEET INDEX

SHEET NO.	SHEET TITLE	FIRST ISSUANCE
LTG-0.1	SHEET INDEX, NOTES, ABBREVIATIONS & SYMBOLS	●
LTG-1.0	SITE LIGHTING PLAN	●
LTG-1.1	SITE LIGHTING PHOTOMETRICS	●
LTG-2.0	2ND FLOOR EXTERIOR LIGHTING PLAN	●
LTG-2.1	2ND FLOOR EXTERIOR LIGHTING PHOTOMETRICS	●
LTG-3.0	EXTERIOR LIGHTING ELEVATIONS	●
LTG-3.1	EXTERIOR LIGHTING ELEVATIONS	●

LIGHTING CONSULTANT



535 PRINCELAND COURT
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P: 951.340.2475
JSASSOCIATESINC.COM

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9289 RESEARCH DRIVE
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HW + H2 -
THOUSAND OAKS
JANES MARKETPLACE
205 N. MOORPARK RD
THOUSAND OAKS, CA -91360

EXTERIOR LIGHTING DESIGN & PHOTOMETRICS

DATE	2022.07.12				
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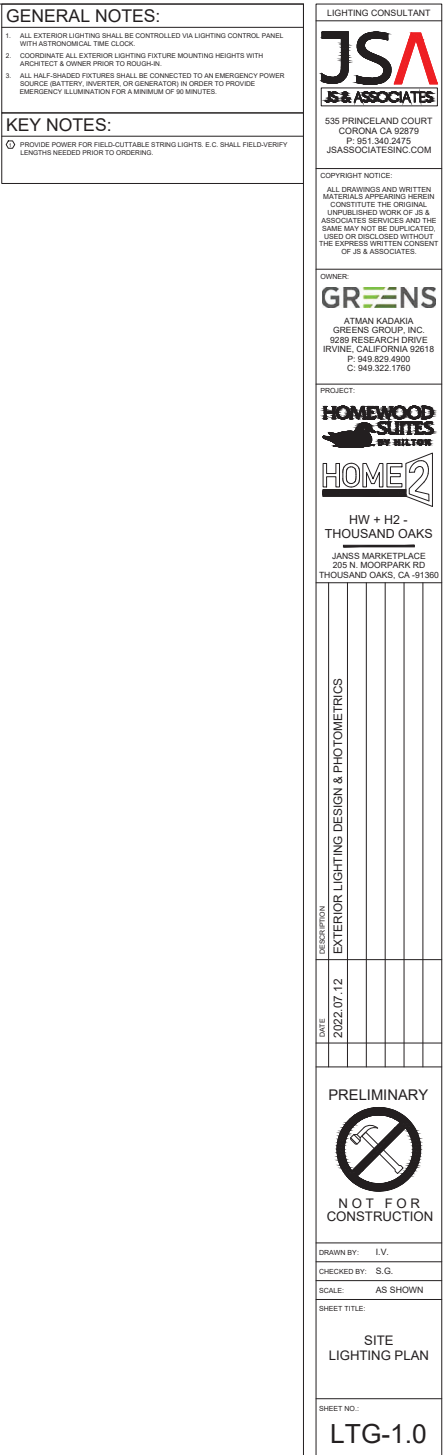
PRELIMINARY



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CHECKED BY: S.G.
SCALE: AS SHOWN

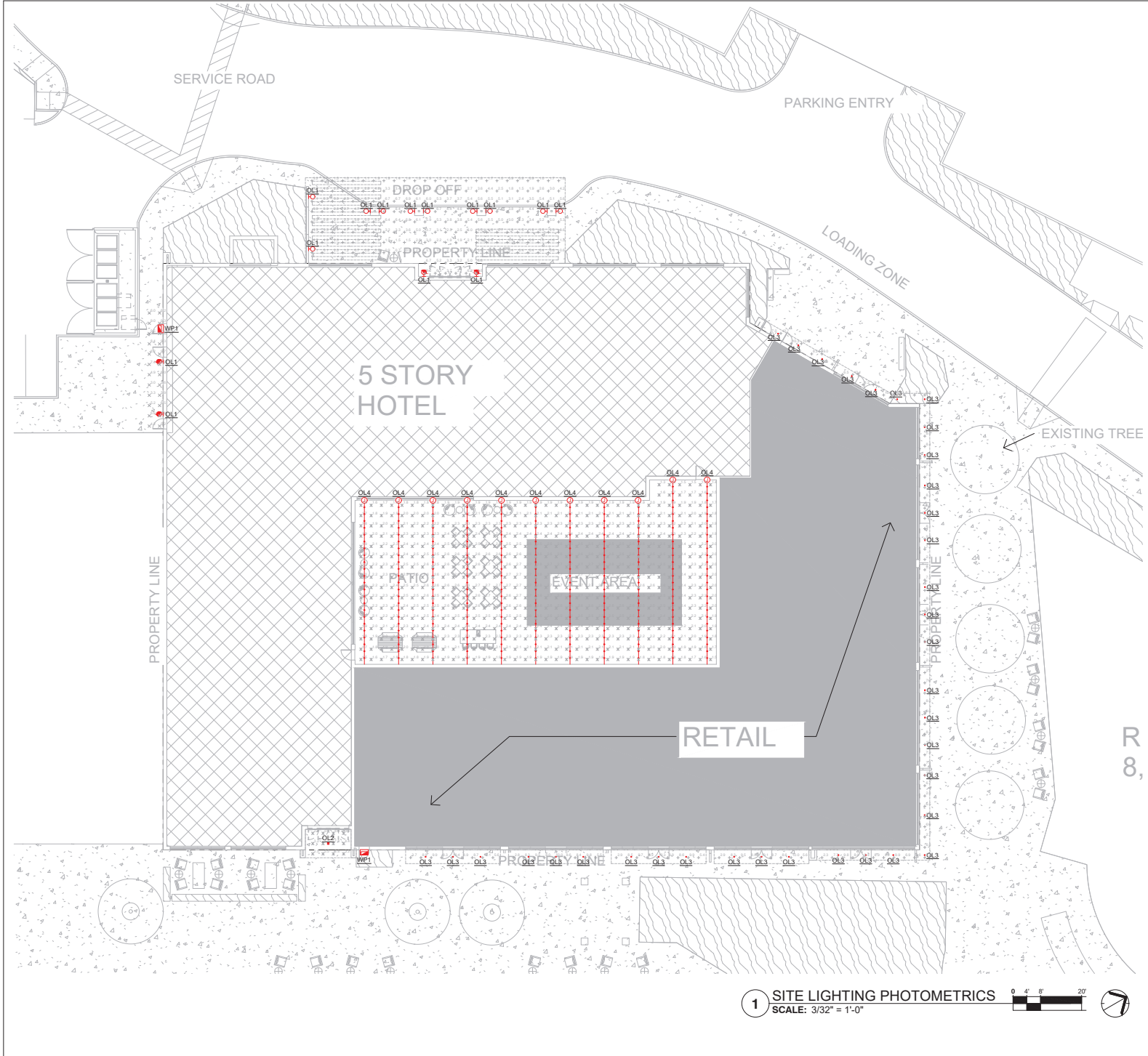
SHEET TITLE:
**SHEET INDEX
NOTES
ABBREVIATIONS
& SYMBOLS**

SHEET NO.:
LTG-0.1



1 SITE LIGHTING PLAN

SCALE: 3/32" = 1'-0"



GENERAL NOTES:						
1. ALL CALCULATION ZONES ARE 3'X3' GRIDS.						
PHOTOMETRIC STATISTICS:						
Location	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East Exit Discharge	+	4.6 fc	7.8 fc	2.2 fc	3.5:1	2.1:1
Patio/Event Space	+	2.3 fc	2.7 fc	1.3 fc	2.1:1	1.8:1
Porte Cochere	+	3.4 fc	8.8 fc	0.4 fc	22.0:1	8.5:1
Retail Entries	+	8.1 fc	10.7 fc	2.0 fc	5.4:1	4.1:1
South Exit Discharge	x	6.7 fc	10.1 fc	3.0 fc	3.4:1	2.2:1

EXTERIOR FIXTURE LEGEND:	
OL1	WALL-MOUNTED CYLINDER DOWNLIGHT 12W LED, 4000K
OL2	4" SQUARE RECESSED DOWNLIGHT 10W LED, 4000K
OL3	2" SQUARE RECESSED DOWNLIGHT 10W LED, 4000K
OL4	FIELD-CUTTABLE, E28 BASE STRING LIGHT 1W LED, 3000K, 90LM (PER SOCKET VALUES) 24" SOCKET SPACING, 1200W MAX RUN PROVIDE GATEWAY CABLE FOR RUNS EXCEEDING 20R
WP1	8LM WALL PACK 15W LED, 4000K
X0	OUTDOOR ARCHITECTURAL EMERGENCY LIGHT 2.8W, BRIGHT WHITE *SHALL ONLY TURN ON UNDER EMERGENCY POWER

LIGHTING CONSULTANT

JSA & ASSOCIATES

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PROJECT:

HOME2

HW + H2 -
THOUSAND OAKS
JANES MARKETPLACE
205 N. MOORPARK RD
THOUSAND OAKS, CA 91360

DESCRIPTION		DATE	
EXTERIOR LIGHTING DESIGN & PHOTOMETRICS		2022.07.12	
PRELIMINARY			
DRAWN BY: I.V.		CHECKED BY: S.G.	
SCALE: AS SHOWN		SHEET TITLE:	
SITE LIGHTING PHOTOMETRICS		SHEET NO.:	
LTG-1.1			



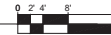
SHEET NO.:
LTG-2.0



HEET NO.:
LTG-2.1



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR FIXTURE LEGEND:	
	IPSE-RATED, RECESSED LINEAR w/ SPACKLE FLANGE 28W LED, 4000K
	IPSE-RATED, HARDWIRED RIBBON LIGHT 3.6W/FT, 300LM/FT

LIGHTING CONSULTANT



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C: 949.322.1760

PROJECT:
HOMESWOOD SUITES
HOME2

HW + H2 -
THOUSAND OAKS
JANES MARKETPLACE
205 N. MOORPARK RD
THOUSAND OAKS, CA 91360

DESCRIPTION
EXTERIOR LIGHTING DESIGN & PHOTOMETRICS

DATE
2022.07.12

PRELIMINARY



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CHECKED BY: S.G.

SCALE: AS SHOWN

SHEET TITLE:

EXTERIOR
LIGHTING
ELEVATIONS

SHEET NO.:

LTG-3.0



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FIXTURE LEGEND:

DL	IPES-RATED, RECESSED LINEAR w/ SPACKLE FLANGE 28W LED, 4000K
ORL	IPES-RATED, HARDWIRED RIBBON LIGHT 3.6W/FT, 330LM/FT

LIGHTING CONSULTANT



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GREENS GROUP, INC.
9289 RESEARCH DRIVE
IRVINE, CALIFORNIA 92618
P: 949.828.4900
C: 949.322.1760

PROJECT:
HOMESWOOD SUITES
HOME2

HW + H2 -
THOUSAND OAKS
JANSS MARKETPLACE
205 N. MOORPARK RD
THOUSAND OAKS, CA 91360

DESCRIPTION
EXTERIOR LIGHTING DESIGN & PHOTOMETRICS

DATE
2022.07.12

PRELIMINARY



NOT FOR
CONSTRUCTION

DRAWN BY: I.V.

CHECKED BY: S.G.

SCALE: AS SHOWN

SHEET TITLE:

EXTERIOR
LIGHTING
ELEVATIONS

SHEET NO.:

LTG-3.1

TENTATIVE PARCEL MAP NO. 2022-70265

JANSS HOMEWOOD AND HOME 2 SUITES

THOUSAND OAKS, CA



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:

PARCELS 2 OF LOTS 2021-19479, IN THE CITY OF THOUSAND OAKS, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGE 1 OF PARCELS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ENGINEER OF RESPONSIBLE CHARGE

KIMLEY HORN
1301 W. TOWN AND COUNTRY
ROAD, SUITE 700
ORANGE, CA 92668



JACOB GLAZE, P.E. R.C.E.#15704

DATE

SURVEYORS CERTIFICATION

TO THOUSAND OAKS MARKETPLACE L.P. AND EACH OF THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD RETAIL REQUIREMENTS FOR ALTA SURVEYS LAND TITLE SURVEYS AND INCLUDES TABLE "V" (ITEMS 2, 3, 4, 6A), 6B), 7A), 7B), 11, 7C), 8, 9, 11, 12, 14, 16, 17, 18, 19 AND 20, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS.

DATE OF SURVEY 03-26-2019

DATE OF PLAT OR MAP 08-03-2021

GENERAL SURVEY NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY IS THE CENTERLINE OF WILBUR AVENUE BEARING NORTH 41°02'00" EAST AS SHOWN ON PARCEL MAP 13-08-1046 BOOK 67 PAGE 19 OF PARCELS MAPS, RECORDS OF SAID COUNTY.
2. THIS PROPERTY IS DESIGNATED BY THE COUNTY OF VENTURA, ALL PORTIONS OF APNS: 025-0-030-390, 025-0-030-410, 025-0-030-430, 025-0-030-440, 025-0-030-450, 025-0-030-470, 025-0-030-480.
3. THERE WAS NO OBSERVABLE EVIDENCE OF CEMETERIES FOUND AT THE TIME OF THE SURVEY.
4. AT THE TIME OF SURVEY NO FIELD DELINEATION OF WETLANDS HAS BEEN CONDUCTED BY A QUALIFIED SPECIALIST.

TITLE REPORT INFORMATION

TITLE REPORT PREPARED BY: COMMONWEALTH
DATED: JANUARY 14, 2019 2:30 A.M.
ORDER NO. 0916561-19-04-006
THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS "A FEET".

BENCHMARK

COUNTY OF VENTURA BENCHMARK # PD (88.1 RM 3)
ELEVATION: 723.750 FEET (DETERMINED AS AT THE NORTHEASTLY CORNER OF THE INTERSECTION OF HILLCREST DRIVE WITH MOON PARK ROAD, 92.3 FEET NORTHEASTERLY FROM A TRAFFIC SIGNAL MANHOLE, 8.0 FEET EASTERLY FROM AN EDISON MANHOLE, 6.8 FEET NORTHEASTERLY FROM A TRAFFIC SIGNAL PULL BOX.

FLOOD ZONE NOTES

COMMUNITY PANEL NUMBER: 061110006E
EFFECTIVE DATE: 01/03/2019
ZONE: X

PROJECT NARRATIVE

THE PROPOSED PROJECT IS A PARCEL MAP FOR THE PURPOSE OF SUBDIVIDING THE AIRSPACE OF AN PROPOSED HOTEL AND DINING FOR SEPARATE OWNERSHIP.

EXISTING LOT SUMMARY

PARCELS 2 - L.D. 2021-19479
TOTAL ACREAGE: 21.57 ACRES
LAND USE: COMMERCIAL

PROPOSED LOT SUMMARY

PARCEL 1
TOTAL ACREAGE: 20.43 ACRES
LAND USE: COMMERCIAL

PARCEL 2 AIRSPACE
5 STORY HOTEL
TOTAL ACREAGE: 6.88 ACRES
LAND USE: COMMERCIAL

PARCEL 3 AIRSPACE
5 STORY COMMERCIAL BUILDING
TOTAL ACREAGE: 5.49 ACRES
LAND USE: COMMERCIAL

SITE INFORMATION:

SITE ADDRESS: 1713 N. MOONPARK ROAD
PORTIONS OF APNs: 025-0-030-390, 025-0-030-410, 025-0-030-430, 025-0-030-450, 025-0-030-470, 025-0-030-480

GROSS SITE AREA: 21.57 AC

NUMBER OF EXISTING LOTS: 1

NUMBER OF PROPOSED LOTS: 3

LAND OWNER

THOUSAND OAKS MARKETPLACE L.P.
3805 CANOGA AVENUE, SUITE 100
WOODLAND HILLS, CA 91367
P: (818) 718-4700
E: glaze@kimley-horn.com

APPLICANT/CIVIL ENGINEER

JACOB GLAZE, P.E.
KIMLEY HORN AND ASSOCIATES
1100 N. TOWN AND COUNTRY ROAD, SUITE 700
ORANGE, CA 92668
P: (714) 765-1254
E: jacob.glaze@kimley-horn.com

SURVEYOR

ANICAL ENGINEERING COMPANY
3211 NORTH TUSTIN AVENUE
ANAHEIM, CA 92807

ZONING INFORMATION

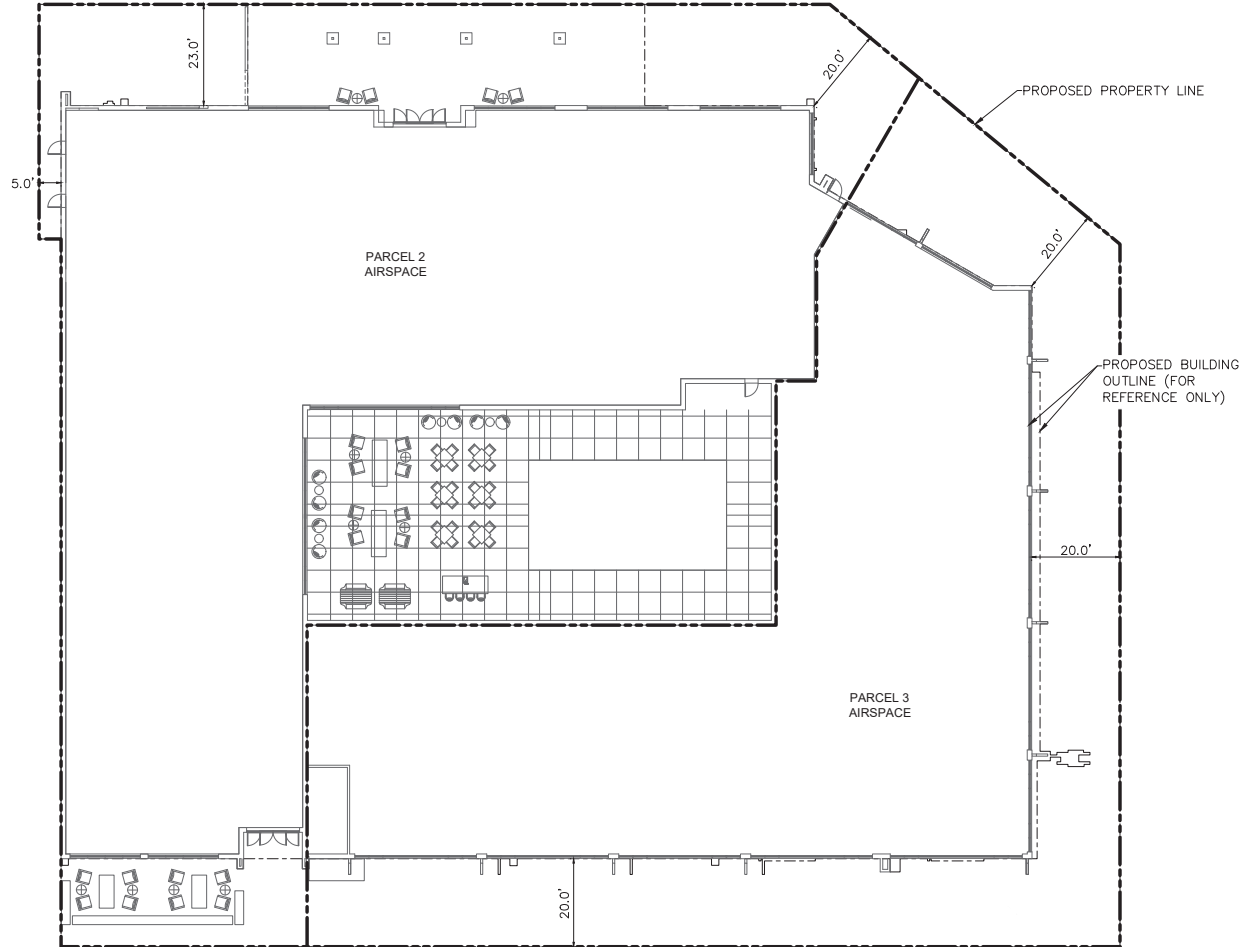
ZONE: C-3 - COMMUNITY SHOPPING CENTER ZONES
ALL SITE RESTRICTIONS WERE OBTAINED FROM CITY OF THOUSAND OAKS PLANNING DEPARTMENT

BASIS OF BEARINGS

THE BASIS OF BEARINGS USED ON THIS SURVEY IS THE CENTERLINE OF WILBUR AVENUE BEARING NORTH 41°02'00" EAST AS SHOWN ON PARCEL MAP 13-08-1046 BOOK 67 PAGE 19 PARCELS MAPS, RECORDS OF SAID COUNTY.

UTILITY SERVICES SUMMARY

WATER/SEWER	CITY OF THOUSAND OAKS
STORM DRAIN	2500 THOUSAND OAKS BLVD THOUSAND OAKS, CA 91382 (805) 485-2100
GAS	SOUTHERN CALIFORNIA GAS COMPANY 8400 DUNDALE AVENUE CHATTOWORTH, CA 91311-2200
ELECTRIC	SOUTHERN CALIFORNIA EDISON 3585 Foothill Drive THOUSAND OAKS, CA 91380
TELEPHONE	VERIZON COMMUNICATIONS 113 S LAKEVIEW CANYON RD THOUSAND OAKS, CA 91382
CABLE TV	TIME WARNER CABLE (805) 485-7774



SITE EXHIBIT
SCALE: 1"=10'

Underground Service Alert

Call: TOLL FREE
1-800
422-4133

THE THOUSAND OAKS BEFORE YOU GO



Kimley Horn

100 N. TOWN AND COUNTRY RD.
SUITE 700
ORANGE, CA 92668
P: (714) 765-1254
WWW.KIMLEY-HORN.COM

MARK	REVISIONS	BY	APPR.	DATE
REVISION				

APPROVED: _____ 2020
SENIOR CIVIL ENGINEER
REGISTERED CIVIL ENGINEER NO. _____
DRAWN BY: JG
CHECKED BY: JG
RECOMMENDED BY: JG

CITY OF THOUSAND OAKS

JANSS MARKETPLACE
THOUSAND OAKS, CA 91380

TENTATIVE PARCEL MAP NO. 2022-70265

FOR CITY USE ONLY: FILE NO.

DRAWING NO.
SHEET 1 OF 3
SHEETS
W.O. NO.

LEGAL DESCRIPTION:

PARCEL 2 OF LOT 3011 IN THE CITY OF THOUSAND OAKS, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK - PAGE - OF PARCEL MAP, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK

COUNTY OF VENTURA BENCHMARK #10 (86.1 RM 3)
ELEVATION: 723.70 (FEET) DESCRIBED AS AT THE NORTHEASTERN CORNER OF THE INTERSECTION OF HILLCREST DRIVE WITH MOOR PARK ROAD, 12.3 FEET NORTHWESTERLY FROM A TRAFFIC SIGNAL STANDARD, 1.6 FEET EASTERLY FROM AN EDISON MANHOLE, 6.6 FEET NORTHWESTERLY FROM A TRAFFIC SIGNAL, PULL BOX.

LAND OWNER

THOUSAND OAKS MARKETPLACE, L.P.
3885 CANOGA AVENUE, SUITE 650
WOODLAND HILLS, CA 91367
P: (818) 719-4100
E: spencer@thousandoaks.com

APPLICANT

JACOB GLAZE, P.E.
KIMLEY HORN AND ASSOCIATES
1100 W. TOWN AND COUNTRY ROAD, SUITE 100
ORANGE, CA 92668
P: (714) 765-3241
E: jacob.glaze@kimley-horn.com

SURVEYOR

ANAKAL ENGINEERING COMPANY
1171 NORTH TUSTIN AVENUE
ANAHEIM, CA 92807

PROPOSED LOT SUMMARY

PARCEL 1
TOTAL ACRES: 20.42 ACRES
LAND USE: COMMERCIAL

PARCEL 2 AIRSPACE
9 STORY HOTEL
TOTAL ACRES: 0.66 ACRES
LAND USE: COMMERCIAL

PARCEL 3 AIRSPACE
1 STORY COMMERCIAL BUILDING
TOTAL ACRES: 0.49 ACRES
LAND USE: COMMERCIAL

MAP PREPARATION DATE

SEPTEMBER 28, 2023

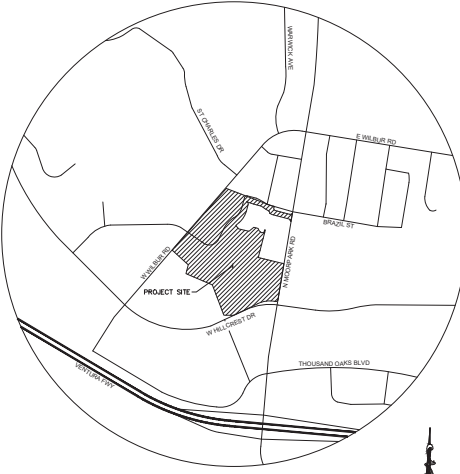
MAP PREPARED BY

JACOB GLAZE, P.E.
KIMLEY HORN AND ASSOCIATES
1100 W. TOWN AND COUNTRY ROAD, SUITE 100
ORANGE, CA 92668
P: (714) 765-3241
E: jacob.glaze@kimley-horn.com

BY: JACOB GLAZE, P.E. 09/28/23

LEGEND

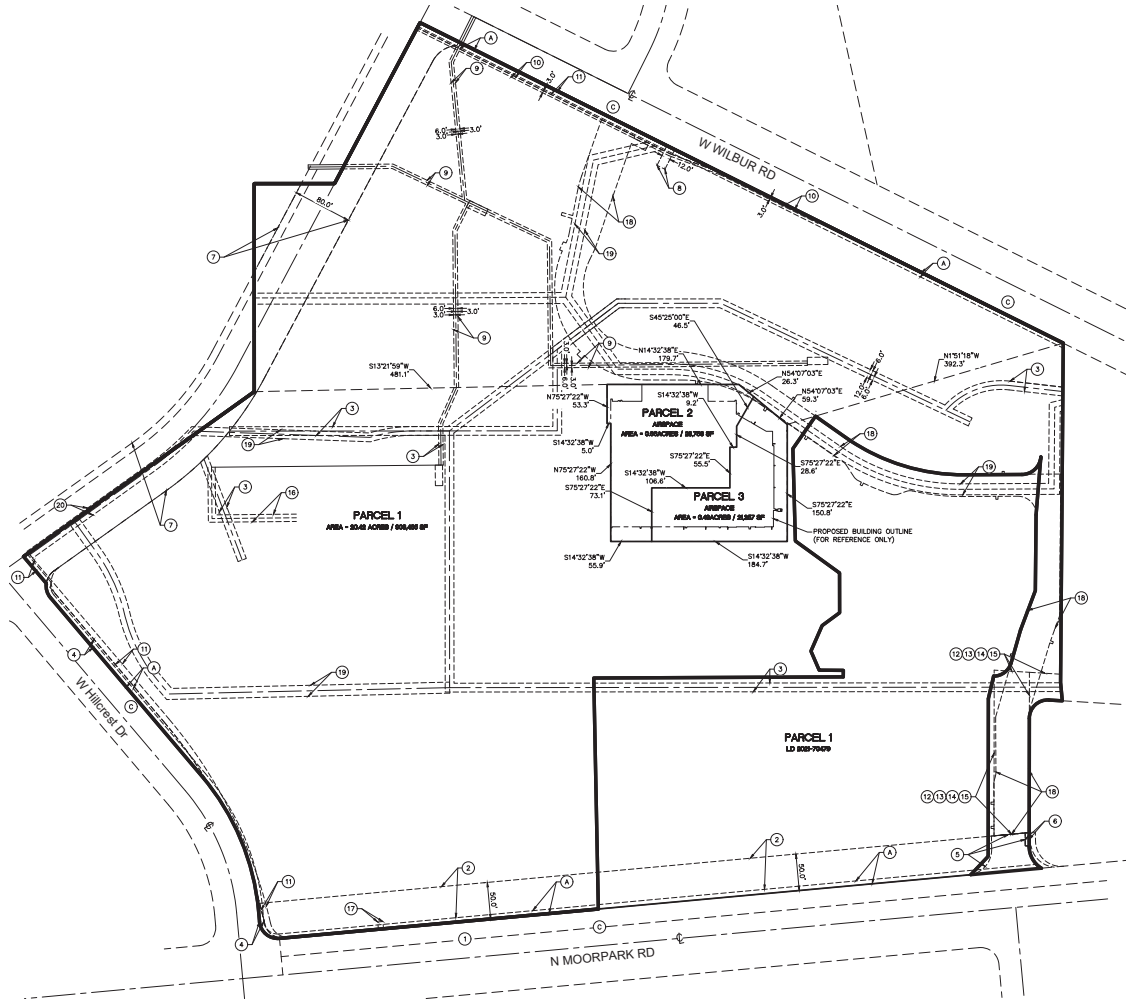
PROPOSED LOT LINE
EXISTING EASEMENT
BOUNDARY
CENTERLINE



LOCATION MAP
SCALE: 1" = 500'

TENTATIVE PARCEL MAP NO. 2022-70265

JANSS HOMEWOOD AND HOME 2 SUITES THOUSAND OAKS, CA



EXISTING EASEMENT NOTES

THE FOLLOWING ITEMS WERE FOUND IN TITLE REPORT NO. 881438 DATED NOVEMBER 21, 2018 BY COMMERCIAL LAND TITLE COMPANY:

- AN EASEMENT FOR ACCESS PURPOSES IN FAVOR OF THE COUNTY OF VENTURA ALONG THE SOUTHEASTERN LINE OF LOT 1 RECORDED ON TRACT NO. 1223, CONEJO VILLAGE, IN BOOK 26, PAGES 57 TO 58, INCLUSIVE, OF MISCELLANEOUS RECORDS.
- AN EASEMENT FOR STORM DRAINAGE AND UTILITY PURPOSES RECORDED ON TRACT NO. 1223 IN BOOK 26, PAGES 57 TO 58, OF MISCELLANEOUS RECORDS. A CERTIFIED COPY OF WHICH HAS BEEN RECORDED FEBRUARY 10, 1981 IN BOOK 190, PAGE 536, OFFICIAL RECORDS. (PORTION OF SAID STORM DRAINAGE EASEMENTS WERE PURPORTEDLY ASSIGNED.)
- AN EASEMENT FOR SANITARY SEWER PURPOSES TO CONEJO VALLEY SANITARY COMPANY, RECORDED APRIL 5, 1983 IN BOOK 265, PAGE 586, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES TO THE COUNTY OF VENTURA, RECORDED OCTOBER 21, 1984 IN BOOK 264, PAGE 177, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES TO THE CITY OF THOUSAND OAKS, RECORDED JANUARY 1, 1986 IN BOOK 200, PAGE 231, OFFICIAL RECORDS. (PORTION OF ROAD EASEMENT HAS BEEN OUTLINED BY DOCUMENT RECORDED IN BOOK 485, PAGE 653, OFFICIAL RECORDS.)
- AN EASEMENT FOR PUBLIC ROAD OR HIGHWAY PURPOSES TO THE CITY OF THOUSAND OAKS, RECORDED JANUARY 1, 1986 IN BOOK 200, PAGE 231, OFFICIAL RECORDS. (PORTION OF ROAD EASEMENT HAS BEEN OUTLINED BY DOCUMENT RECORDED IN BOOK 485, PAGE 653, OFFICIAL RECORDS.)
- AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, REPAIR, REMOVAL, RECONSTRUCTION AND OPERATION OF SANITARY SEWERS, STORM DRAINAGE AND WATER PIPELINES PURPOSES GRANTED TO THE CITY OF THOUSAND OAKS, RECORDED MAY 1, 1986 IN BOOK 208, PAGE 576, OFFICIAL RECORDS.
- AN EASEMENT FOR RIGHT-OF-WAY PURPOSES TO THE COUNTY OF VENTURA, RECORDED DECEMBER 15, 1986 IN BOOK 266, PAGE 230, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITY PURPOSES TO SOUTHERN CALIFORNIA Edison COMPANY, RECORDED APRIL 10, 1970 IN BOOK 360, PAGE 31, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITY PURPOSES TO SOUTHERN CALIFORNIA Edison COMPANY, RECORDED MAY 4, 1970 IN BOOK 367, PAGE 261, OFFICIAL RECORDS.
- AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, REPAIR, REMOVAL, RECONSTRUCTION AND OPERATION OF A PUBLIC ROAD PURPOSES TO THE CITY OF THOUSAND OAKS, RECORDED NOVEMBER 24, 1970 IN BOOK 374, PAGE 81, OFFICIAL RECORDS.
- AN EASEMENT FOR INGRESS, EGRESS, DRIVEWAY, ROADWAY AND PUBLIC UTILITY PURPOSES TO THE ROBERT C. WILLIAMS FAMILY TRUST, RECORDED DECEMBER 9, 1971 IN BOOK 384, PAGE 794, OFFICIAL RECORDS.
- AN EASEMENT FOR INGRESS, EGRESS, DRIVEWAY, ROADWAY AND PUBLIC UTILITY PURPOSES TO COMMERCIAL AND FARMERS NATIONAL BANK, RECORDED DECEMBER 10, 1971 IN BOOK 386, PAGE 986, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITY PURPOSES GRANTED TO THE CITY OF THOUSAND OAKS, RECORDED MARCH 10, 1972 IN BOOK 303, PAGE 794, OFFICIAL RECORDS.
- AN EASEMENT FOR INGRESS, EGRESS, DRIVEWAY, ROADWAY AND PUBLIC UTILITY PURPOSES TO ROBERT C. WILLIAMS FAMILY TRUST, RECORDED AUGUST 31, 1972 IN BOOK 403, PAGE 487, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITY PURPOSES TO SOUTHERN CALIFORNIA Edison COMPANY, RECORDED APRIL 2, 1981 AS INSTRUMENT NO. 61-0494, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITY PURPOSES TO GENERAL TELEPHONE COMPANY OF CALIFORNIA, RECORDED AUGUST 3, 1988 AS INSTRUMENT NO. 88-1542, OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITY PURPOSES TO CALIFORNIA-AMERICAN WATER COMPANY, RECORDED JULY 11, 1986 AS INSTRUMENT NO. 86-6083, OFFICIAL RECORDS.
- AN EASEMENT FOR PIPE LINE PURPOSES GRANTED TO THE CITY OF THOUSAND OAKS, RECORDED APRIL 10, 1988 AS INSTRUMENT 86-6171, OFFICIAL RECORDS.
- AN EASEMENT FOR SEWER PIPELINES PURPOSES GRANTED TO THE CITY OF THOUSAND OAKS, RECORDED SEPTEMBER 4, 1988 IN BOOK 354, PAGE 324, OFFICIAL RECORDS.
- A PUBLIC SERVICE EASEMENT ADJACENT TO ANY PUBLIC STREET RIGHT-OF-WAYS TO BE DEDICATED TO THE CITY OF THOUSAND OAKS PER THIS MAP.
- GOVERNMENT PUBLIC SAFETY/HEALTH/THREAT ARE ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF THOUSAND OAKS EASEMENT IS BLANKET IN NATURE OVER PARCELS 1 AND 2 PER THIS MAP.
- ALL REMAINING RIGHTS OF ACCESS TO AND FROM ALL PARCELS ABUTTING NORTH HILLCREST ROAD, WEST HILLCREST DRIVE AND WEST WILBUR ROAD, EXCEPT AT EXISTING DRIVEWAYS SHALL BE OFFERED FOR DEEDATION TO THE CITY OF THOUSAND OAKS PER THIS MAP.

Underground Service Alert

Call: TOLL FREE
1-800-422-4133

NO WORKING DAYS BEFORE YOU DIG



Kimley Horn

4000 ANAHEIM AVENUE, SUITE 100
ANAHEIM, CA 92805
TEL: 714.944.1000
FAX: 714.944.1001
WWW.KIMLEY-HORN.COM

MARK	REVISIONS	BY	APPR.	DATE
REVISION				

APPROVED	2020
SENIOR CIVIL ENGINEER	
REGISTERED CIVIL ENGINEER NO.	
DRAWN BY: KC	
CHECKED BY: JGS	
RECOMMENDED BY: JGS	

CITY OF THOUSAND OAKS

JANSS MARKETPLACE, LLC
THOUSAND OAKS, CA 91360
TENTATIVE PARCEL MAP NO. 2022-70265
FOR CITY USE ONLY: FILE NO.

DRAWING NO.

SHEET 2 OF 3 SHEETS

W.O. NO.

THOUSAND OAKS, CA



cdd:420-78/sk/H:COMMON/Planning Commission/Agenda Packet/2023/2023-10-23/Janss Hotel/07B Janss Marketplace Hotel 22-70079-DP Attach 8/pz (FILE ID: 22-70079-DP)