



ARTIST RENDERINGS - AERIAL VIEW



ARTIST RENDERINGS - TOP VIEW

THE DROP YARD

PROJECT DESCRIPTION

- OUTDOOR BAR AND FOOD VENUE WITH THE ON-SITE CONSUMPTION OF ALCOHOLIC BEVERAGES INCLUDING:
 - THREE FOOD AND BEVERAGE TRUCKS
 - TWO BARS IN MODIFIED CONTAINERS
 - PORTABLE RESTROOM TRAILERS
 - A FLATBED TRUCK STAGE
 - SHIPPING CONTAINER STORAGE
 - ASSOCIATED SITE IMPROVEMENTS ON EXISTING PARKING LOT
- HOURS OF OPERATION: WEDNESDAY AND THURSDAY FROM 4PM TO 11PM, FRIDAY FROM 11AM TO 11PM, AND SATURDAY AND SUNDAY FROM 9AM TO 11PM, CLOSED MONDAY AND TUESDAY
- MAXIMUM CAPACITY: 995
- NUMBERS OF EMPLOYEES: PROVIDED BY HYATT HOTEL, UP TO 12

PROJECT NARRATIVE:

THE PROPOSED FACILITY PROVIDES A COMBINATION OF DINING, POP-UP RETAIL, AND ENTERTAINMENT AMENITIES. THE MAXIMUM CAPACITY OF THE ESTABLISHMENT IS 995 PATRONS AND SERVICE PERSONNEL.

THE OPERATION HOURS ARE WEDNESDAY AND THURSDAY FROM 4PM TO 11PM, FRIDAY FROM 11AM TO 11PM, AND SATURDAY AND SUNDAY FROM 9AM TO 11PM. IT WILL BE CLOSED ON MONDAY AND TUESDAY. LIVE MUSIC MAY BE PERFORMED WITHIN THE OPERATION HOURS.

UPON ARRIVAL WITH CAR, THE PATRONS PARK IN THE EXISTING HOTEL PARKING AND ENTER FROM THE SOUTH EAST GATES OF THE LOT. ADDITIONAL PEDESTRIAN ENTRY IS PROVIDED ON THE NORTH EAST SIDE OF THE LOT FACING THE INTERSECTION CROSS WALK AT WESTLAKE BOULEVARD. THE PROPOSED ACCESSIBLE PARKING STALLS ARE IN THE CLOSEST PROXIMITY TO MAIN SOUTHEAST ENTRY. THE FACILITY IS FULLY ACCESSIBLE.

THE DINING AMENITIES ARE PROVIDED BY THREE FOOD AND BEVERAGE TRUCKS AND TWO BARS IN MODIFIED SHIPPING CONTAINERS. THE FOOD TRUCKS WILL SERVE VARIETY OF FOOD. THE BARS WILL SERVE LIGHT FOOD BEER AND WINE. NO HARD ALCOHOL WILL BE SOLD ON THE PREMISES. THE FOOD AND BEVERAGES WILL BE SELF-SERVED - UPON PURCHASING, THE PATRONS WILL CARRY THE ORDER TO THE SEATING AREA IN THE CENTER OF THE SPACE. THE FOOD TRUCK WILL ARRIVE AND SET-UP ONE HOUR BEFORE OPENING, AND WILL CLEAN UP AND COLLECT THE STATIONS WITHIN AN HOUR AFTER CLOSING. THE TRUCKS MAY ROTATE ON A SEASONAL BASIS.

THERE WILL BE APPROXIMATELY TWO PEOPLE WORKING AT EACH OF THE FOOD TRUCKS AND TWO TO THREE AT EACH OF THE TWO BARS.

THE POP-UP RETAIL STATIONS WILL BE PROVIDED BY VENDORS THEMSELVES. THEY WILL ARRIVE AND SET-UP THE STATIONS ONE HOUR BEFORE OPENING, AND WILL CLEAN UP AND COLLECT THE STATIONS WITHIN AN HOUR AFTER CLOSING HOUR. THE PROPOSED RETAIL ITEMS WILL BE LOCAL PRODUCE AND LOCAL ARTISAN ARTICLES. IT IS EXPECTED EACH POP-UP RETAIL STATION TO BE SERVED BY APPROXIMATELY ONE OR TWO SELLERS.

THE PROPOSED DESIGN PROVIDES SUFFICIENT AMOUNT OF RESTROOMS, INCLUDING AN ACCESSIBLE ONE.

ADDITIONAL AMENITIES ARE CORNHOLE AND PING-PONG GAMES, LOCATED ON THE WEST SIDE OF THE AREA

THIS IS A KIDS AND DOGS FRIENDLY PLACE. IT IS SECURED BY A FENCE AND ON-SITE SECURITY PERSONNEL DURING OPERATION HOURS, PROVIDED BY THE HOTEL. THE EMERGENCY EVACUATION / EGRESS PLAN IS ON DRAWING G-0.1

THE PERSONNEL SERVICING THE PROPOSED PROJECT WILL BE HYATT HOTEL EMPLOYEES.

ULTIMATELY, THE GOAL OF THE DROP YARD PROJECT IS TO PROVIDE A VIBRANT CENTER SERVING AS A FOCAL POINT FOR THE LOCAL COMMUNITY AND BEYOND.

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PROJECT

THE DROP YARD

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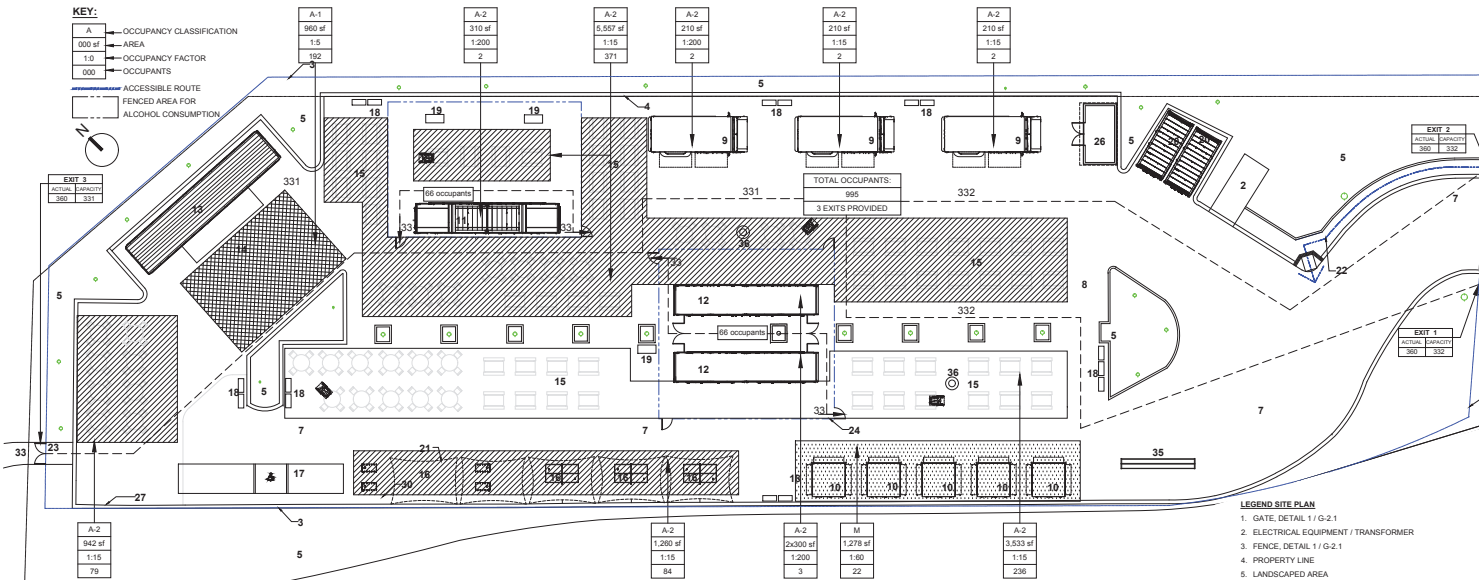
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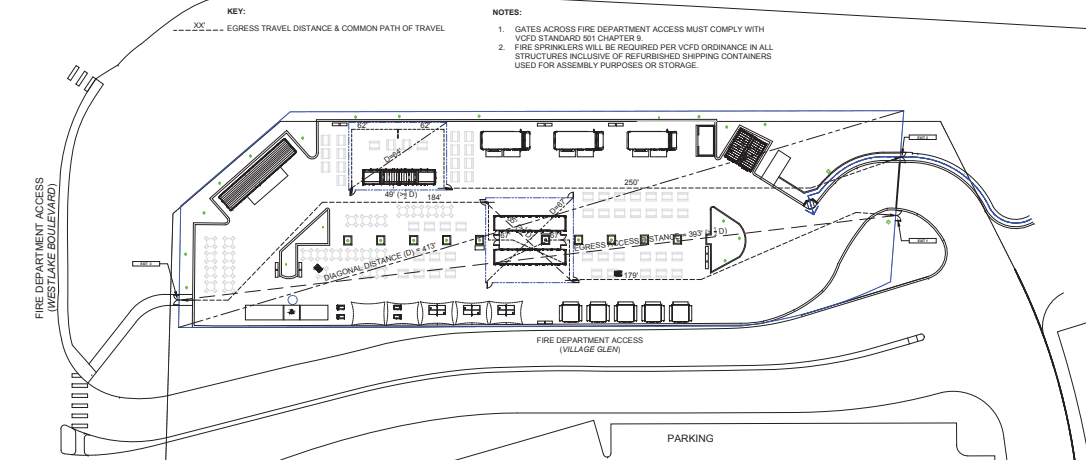
1 AREA CALCULATIONS (NET) EGRESS DIAGRAMS SCALE: 1/16"=1'-0"

MINIMUM PLUMBING FACILITIES PER TABLE 403.1, 2021 CPC

OCCUPANCY	FUNCTION	No OCCUPANTS	WATER CLOSETS women	URINALS men	LAVATORIES women	LAVATORIES men
BUILDING 14	A-2 ASSEMBLY FOOD AND/OR DRINK CONSUMPTION, UN-CONCENTRATED - TABLE AND CHAIRS	781	3	1	2	2
	A-2 ASSEMBLY CONCENTRATED - PERFORMANCE	192	2	1	1	1
	M RETAIL	22	1			1
TOTAL MIN. PLUMBING FACILITIES			5	3	3	6
PROVIDED			8	3	6	6

EXIT CALCULATIONS

EXIT #	DOOR WIDTH (IN)	GATE FACTOR (IN/OCC)	GATE CAPACITY (OCC)	ACTUAL USE (OCC)
EXIT 1	72 nominal	0.2	360	332
EXIT 2	72 nominal	0.2	360	332
EXIT 3	72 nominal	0.2	360	331
TOTAL			1080	995



2 EGRESS DIAGRAMS DISTANCES SCALE: 1/32"=1'-0"

PROJECT INFORMATION

PROJECT ADDRESS	880 S WESTLAKE BLVD. WESTLAKE VILLAGE, CA 91361
JURISDICTION	CITY OF THOUSAND OAKS
ASSESSOR PARCEL NUMBER (APN)	693-0-130-315
LEGAL DESCRIPTION	A PORTION OF PARCEL 1 L.D.485, BOOK 5, PAGE 57 OF PARCEL MAPS
ZONING	C-4
OCCUPANCY	A-2

DROP YARD SCOPE ONLY - AREA CALCULATIONS

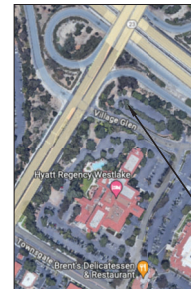
LOT AREA (WITHIN FENCE)	41,500 SF
FOOD TRUCKS (TOTAL)	660 SF
STAGE	530 SF
BAR 1 - FIXED MODIFIED SHIPPING CONTAINERS	320 SF
BAR 2 - FIXED MODIFIED SHIPPING CONTAINERS	640 SF
WASTE ENCLOSURE	150 SF
ACCESSORY - TOILETS	360 SF
ACCESSORY - STORAGE	320 SF
DROP YARD PROJECT ONLY - TOTAL	2,980 SF
DROP YARD STRUCTURES ONLY - COVERAGE	1,720 SF
FAR (DROP YARD PROJECT ONLY)	0.07
ARTIFICIAL TURF (OVER EXISTING CONCRETE)	9,000 SF
DECOMPOSED GRANITE (OVER EXISTING CONCRETE)	21,500 SF
LANDSCAPED AREA	11,000 SF
PARKING SPACES	381
BIKE RACKS FOR TOTAL NUMBER OF BIKES	36

ENTIRE LOT AREA CALCULATIONS

TOTAL SITE AREA (PARCEL 1)	463,043 SF (10.63 ACRES)
EXISTING SITE COVERAGE	116,280 SF
PROPOSED NEW STRUCTURES SITE COVERAGE	1,720 SF
TOTAL LOT COVERAGE	118,000 SF (25%)
EXISTING BUILDING AREA	189,379 SF
TOTAL EXISTING AND NEW ADDITIONAL AREA	192,359 SF
FAR (EXISTING & NEW)	0.42 (ALLOWED 1:1)

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ENERGY CODE CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDINGS STANDARDS CODE
AND CITY OF THOUSAND OAKS ORDINANCES AND
AMENDMENTS TO THE CODES



VICINITY MAP

PROJECT LOCATION

PROJECT

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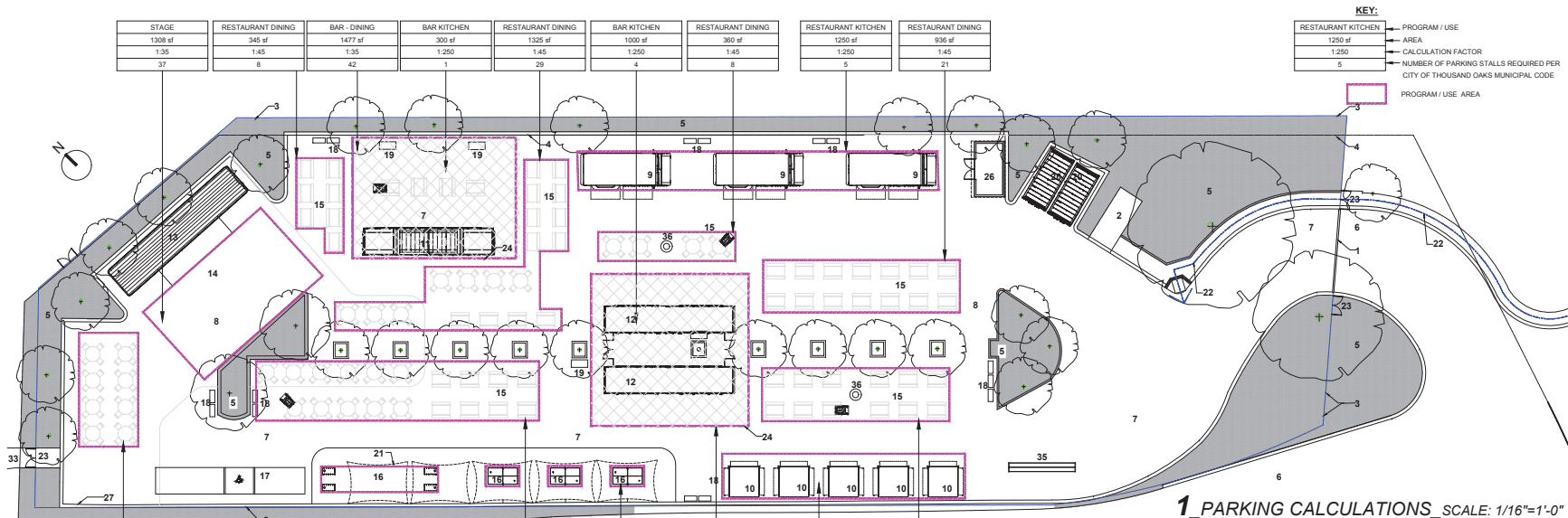
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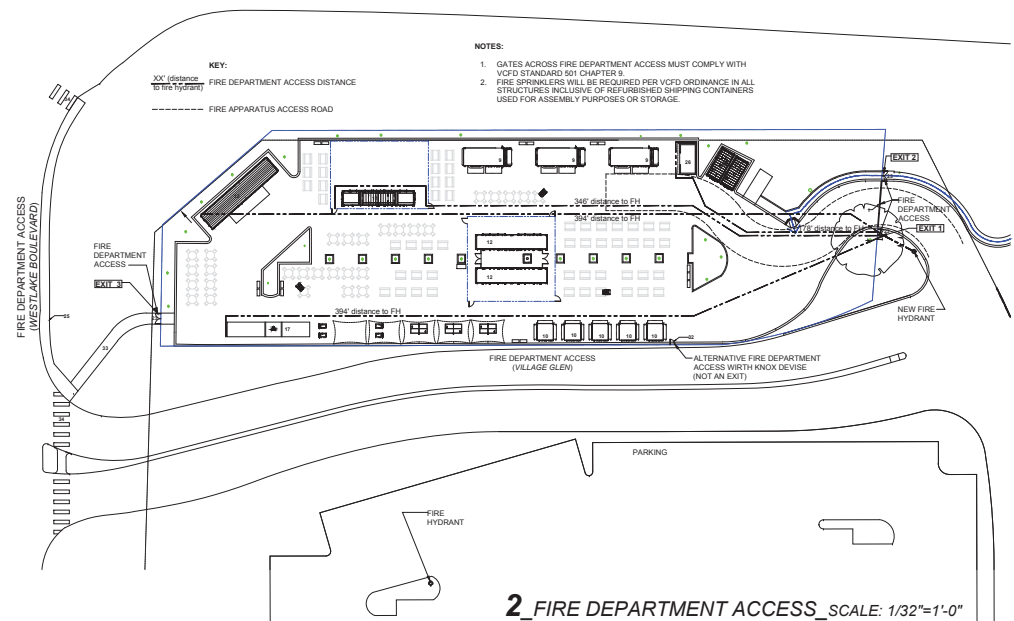


PROGRAM / USE	TOTAL AREA (s.f.)	RATIO FACTOR	STALLS PER CODE
STAGE	1308	1.35	37
RESTAURANT DINING	5971	1.45	133
RESTAURANT KITCHEN	1250	1.250	5
BAR DINING	2639	1.35	75
BAR KITCHEN	1300	1.250	4
RETAIL	988	1.250	4
GAME COURTS	4	3/COURT	12
TOTAL			270

- LEGEND SITE PLAN**
- GATE DETAIL 1 / G-2.1
 - ELECTRICAL EQUIPMENT / TRANSFORMER
 - FENCE, DETAIL 1 / G-2.1
 - PROPERTY LINE
 - LANDSCAPED AREA
 - CONCRETE
 - EXISTING CONCRETE (ALT. DECOMPOSED GRANITE)
 - ARTIFICIAL TURF
 - FOOD TRUCK (TYP.)
 - VENDOR PROVIDED TEMPORARY POP-UP RETAIL KIOSKS (TYP.)
 - BAR 1, DETAIL 2 / G-2.1
 - BAR 2, DETAIL 3 / G-2.1 AND SK-1
 - STAGE (FLATBED TRUCK), DETAIL 5 / G-2.1
 - STANDING / DANCING AREA
 - TABLES / BENCHES / DINING (TYP.)
 - OUTDOOR GAMES - CORNHOLE, PING-PONG
 - RESTROOMS, G-2.2
 - TRASH / RECYCLING RECEPTACLES
 - TV MONITORS
 - STORAGE DETAIL 4 / G-2.1
 - SAIL SHADE ABOVE
 - ACCESSIBLE ROUTE FROM PARKING
 - GATE DETAIL 1 / G-2.1
 - FENCED AREA FOR ALCOHOL CONSUMPTION
 - PUBLIC WAY
 - WASTE ENCLOSURE DETAIL 6 / G-2.1
 - EXISTING RETAINING WALL
 - UTILITY EASEMENT (10' WIDE)
 - SEWER EASEMENT (15' EASEMENT)
 - PROPOSED NEW UTILITY TRENCH
 - ACCESSIBLE PARKING STALLS
 - FIRE DEPARTMENT ACCESS GATE WITH KNOX DEVICE
 - FOOT PATH
 - CROSSWALK
 - BIKE RACK FOR 36 BIKES
 - FIRE PIT
 - ACCESSIBLE TABLE SEAT

- NOTES:**
- GATES ACROSS FIRE DEPARTMENT ACCESS MUST COMPLY WITH VCFD STANDARD 801 CHAPTER 8
 - FIRE SPRINKLERS WILL BE REQUIRED PER VCFD ORDINANCE IN ALL STRUCTURES INCLUSIVE OF REFRIGERATED SHIPPING CONTAINERS USED FOR ASSEMBLY PURPOSES OR STORAGE

KEY:
XX (distance 10 to 15 feet)
FIRE DEPARTMENT ACCESS DISTANCE
FIRE APPARATUS ACCESS ROAD



2_FIRE DEPARTMENT ACCESS_SCALE: 1/32"=1'-0"

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THE DROP YARD

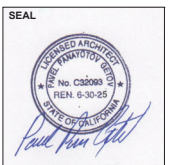
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PARKING CALCULATIONS / EXISTING TREES DIAGRAM

G-0.2

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SYMBOLS	POLICE DEPARTMENT NOTES	POLICE DEPARTMENT NOTES (CONT)	GENERAL NOTES
               	<ol style="list-style-type: none"> DOOR SECURITY HARDWARE – EXTERIOR, OUTWARD OPENING SINGLE DOORS SHALL HAVE THE APPROPRIATE TYPE OF LATCH GUARD INSTALLED SO AS TO PREVENT THE VIOLATION OF THE LATCH AND STRIKE. THE LATCH GUARD SHALL BE A MINIMUM OF .125" THICK AND EXTEND A MINIMUM OF SIX INCHES ABOVE AND BELOW THE DOOR LATCH OR DEADBOLT. DOORS UTILIZING RIM AND CYLINDER LOCKS SHALL HAVE HEAVY DUTY CYLINDER GUARDS INSTALLED. ALL OUTWARD OPENING EXTERIOR DOORS SHALL HAVE HINGES EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK (SET SCREWS) TO PREVENT REMOVAL OF THE DOOR FROM THE OUTSIDE BY REMOVING THE HINGE PINS. BUILDING OPENINGS OTHER THAN DOORS INTENDED FOR CUSTOMER USE (GARAGE DOORS) WILL HAVE INTERIOR ACCESS ONLY LOCKING MECHANISMS AS TO PREVENT/DISSUADE ILLEGAL ENTRY FORM THE EXTERIOR AT THESE POINTS. LIGHTING – WEATHER AND BREAKAGE RESISTANT COVERS SHALL PROTECT ALL EXTERIOR LIGHTING. EXTERIOR LIGHTING FIXTURES WILL BE FULLY ENCLOSED TO MINIMIZE TAMPERING AND BREAKAGE. AFTER HOURS EXTERIOR LIGHTING SHALL PROVIDE SUFFICIENT ILLUMINATION TO ALLOW VIEWING OF THE EXTERIOR OF THE BUILDINGS, ALL PEDESTRIAN WALKWAYS AND PATRON GATHERING AREAS. THE USE OF LIGHT-EMITTING DIODES (LED) IS PREFERRED SINCE LED PROVIDE SUPERIOR ILLUMINATION AND COLOR RENDITION. ADEQUATE LIGHTING (3000+ KELVIN / LED / 3 FT CANDLES / EVEN COVERAGE) IS TO BE PROVIDED THROUGHOUT THE PROPERTY WHERE PATRONS ARE ANTICIPATED TO GATHER AS TO CLEARLY SEE PERSONS ALONG THE LENGTH OF THE PROJECT PROPERTY FROM THE ENTRY POINT AND ALONG VILLAGE GLEN TO THE SOUTH DURING HOURS OF OPERATION. ALL LIGHTS SHALL INCLUDE SHIELDING TO PREVENT LIGHT POLLUTION, SPILLAGE, AND GLARE TO ROADWAYS AND ALL SURROUNDING PROPERTIES NOT OWNED AND/OR CONTROLLED BY THE PROJECT OWNER, INCLUDING OVERHEAD. PROJECT PHOTOMETRICS WILL BE PROVIDED TO THE THOUSAND OAKS POLICE DEPARTMENT COMMUNITY RESOURCE UNIT FOR REVIEW AND APPROVAL. LANDSCAPING – LANDSCAPING SHALL NOT COVER, NOR PARTIALLY COVER ANY EXTERIOR DOOR OR WINDOW. LANDSCAPING, INCLUDING TREES, WILL NOT BE PLACED DIRECTLY UNDER ANY OVERHEAD LIGHTING THAT COULD CAUSE LOSS OF LIGHT AT GROUND LEVEL. ALL LANDSCAPING WILL BE KEPT TRIMMED IN ORDER TO PROVIDE AN UNOBSTRUCTED VIEW OF THE PARKING AREAS, BUILDINGS AND ENTRY POINTS. THE STANDARD OPTION (CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN) LANDSCAPING RULES OF "TWO FOOT / SIX FOOT" SHALL APPLY TO THE PROPERTY (NO SHRUBBERY SHALL BE HIGHER THAN 2 FEET AND LOWER THE TREE CANOPY SHALL NOT GROW BELOW 6 FEET). THIS WILL REDUCE CONCEALMENT AREAS AND KEEP THE AREA WELL LIT DURING DARKNESS HOURS. IT IS SUGGESTED THE DEVELOPER CONSIDER THE USE OF THORNY VEGETATION TO PREVENT UNAUTHORIZED PEDESTRIAN ACCESS ALONG FENCES AND/OR THE PROPERTY PERIMETER. ADDRESS IDENTIFIERS – LOCATION WILL BE MARKED WITH THE MAIN STREET ADDRESS FOR EASY VIEWING FROM THE STREET LEVEL. UTILITY ROOMS AND ENCLOSURES – ALL EXTERIOR UTILITY ROOMS AND ENCLOSURES CONTAINING ELECTRICAL AND TELEPHONE EQUIPMENT SHALL BE KEPT LOCKED AT ALL TIMES. TRASH ENCLOSURES – EXTERIOR TRASH ENCLOSURES SHALL BE KEPT CLOSED AND LOCKED DURING NON-BUSINESS HOURS TO DISCOURAGE, LOITERING, ILLEGAL DUMPING AND THEFT. TRASH ENCLOSURES WILL BE CONSTRUCTED TO HAVE OUTSIDE VISIBLY TO REDUCE THE POSSIBILITY OF CAMPING OR SLEEPING IN THE AREA. DECORATIVE SEE THROUGH FENCING AND DUSK TILL DAWN LIGHTING IS SUGGESTED. VIDEO SURVEILLANCE SYSTEM – WILL BE REQUIRED FOR A 360 DEGREE VIEW AROUND THE PARKING LEVEL/AREAS. ADDITIONALLY, VIDEO SURVEILLANCE WITH THE SAME BELOW LISTED PARAMETERS WILL BE REQUIRED FOR ALL ROOF DECK AREAS, AND AREAS ACCESSIBLE TO THE PUBLIC. THE VIDEO SURVEILLANCE FEED WILL BE MADE IMMEDIATELY AVAILABLE TO THE THOUSAND OAKS POLICE DEPARTMENT UPON REQUEST IN THE EVENT OF A MAJOR EMERGENCY OR INCIDENT. A PHONE NUMBER TO THE SECURITY COMPANY OR VIDEO SURVEILLANCE PROVIDER WILL BE PROVIDED TO THE THOUSAND OAKS POLICE DEPARTMENT UPON COMPLETION OF THE PROJECT. THE SURVEILLANCE SYSTEM WILL BE HD QUALITY, HAVE NIGHT VISION CAPABILITIES AND BE ABLE TO RETAIN VIDEO DATA FOR NO LESS THAN 30 DAYS. THE CAMERA SYSTEM SHOULD BE WEB BASED AND ACCESS INFORMATION PROVIDED TO VENTURA COUNTY SHERIFF'S DISPATCH (ARTIC) FOR USE IN EMERGENCY SITUATIONS. ROOF ACCESS – ROOF ACCESS MUST BE SECURED WITH LOCKING DOORS OR ANY OTHER MECHANISM TO RESTRICT ACCESS FOR NON-PUBLIC AREAS. ROOF ACCESS TO PUBLIC AREAS WILL BE CONTROLLED AT THE DISCRETION OF THE DEVELOPER BUT SHALL BE LOCKED OR SECURED IN A MECHANICAL FASHION AFTER HOURS. ENTRY POINT / FENCE & GATE– TO MINIMIZE UNAUTHORIZED PEDESTRIAN ENTRY AFTER HOURS, A FENCE AND GATE SHALL BE PLACED ALONG THE SOUTHEAST VEHICLE/PEDESTRIAN ENTRY AREA. THE FENCE AND GATE SHALL BE CONSTRUCTED TO ALLOW TRANSPARENCY TO EMERGENCY PERSONNEL AT STREET LEVEL (DECORATIVE METAL FENCING IS SUGGESTED). THE LOCATION WILL HAVE EMERGENCY ACCESS TO THE GATE VIA A "KNOX BOX" OR SIMILAR SECURITY DEVICE. FENCING SHALL BE CONSTRUCTED (OR MAINTAINED EXISTING) AROUND THE PERIMETER OF THE PROPERTY AND WILL BE CONSTRUCTED TO ALLOW OUTSIDE VISIBILITY (SUCH AS DECORATIVE METAL). VEHICLE SAFETY- BOLLARDS, BARRICADES, OR OTHER SUFFICIENT PROTECTION TO STOP A VEHICLE IS REQUIRED ALONG THE NORTHWEST PORTION OF THE PROPERTY TO PREVENT A VEHICLE WHICH HAS LEFT THE ROADWAY FROM BEING ABLE TO ENTER THE PROPERTY FROM THE ROADWAY ABOVE. PLANS SHALL DETAILING THE VEHICLE SAFETY BARRIERS SHALL BE SUBMITTED TO THE THOUSAND OAKS POLICE DEPARTMENT'S COMMUNITY RESOURCE UNIT FOR REVIEW AND APPROVAL. FENCING FROM CALTRANS ALONG THE FRONTAGE OF US 101 SHALL NOT BE DIMINISHED. SIGNS – ANY SIGNS DISPLAYED MUST BE FAR ENOUGH BACK FROM THE STREET AS TO NOT IMPEDE WITH VISIBILITY TO TRAFFIC. THE STREET ADDRESS SHALL BE PROMINENTLY DISPLAYED ON THE SIGN TO ASSIST FIRST RESPONDERS WITH IDENTIFYING THE FACILITY. SIGN MOUNTED ADDRESS SHALL BE NO LESS THAN 5 INCHES IN HEIGHT. WILL BE OF A HIGHLY CONTRASTING COLOR TO THE BACKGROUND ON WHICH THEY ARE ATTACHED, AND SHALL BE ILLUMINATED FROM DUSK TO DAWN BY A PERMANENT, DEDICATED LIGHT SOURCE. SIGNS OF THE LOCATION WILL BE PLACED AT ALL VEHICULAR AND PEDESTRIAN ENTRANCES. MAINTENANCE – ANY AND ALL GRAFFITI, ETCHINGS, UNAUTHORIZED WRITING/PAINTING/ART SHALL BE REMOVED/ABATED AS SOON AS PRACTICABLE, NOT TO EXCEED 72 HOURS. ALLOWING TIME FOR POLICE REPORTING IF DESIRED BY LOCATION MANAGEMENT. NOISE & MUSIC – NO AMPLIFIED MUSIC/ANNOUNCEMENTS SHALL BE ALLOWED BETWEEN THE HOURS OF 11 PM AND 9 AM. 	<p>ESTABLISHMENT SERVING ALCOHOL</p> <ol style="list-style-type: none"> SALES, SERVICE AND CONSUMPTION OF ALCOHOLIC BEVERAGES SHALL BE PERMITTED ONLY BETWEEN THE HOURS OF 9:00 AM AND 1:30 AM EACH DAY OF THE WEEK. ENTERTAINMENT PROVIDED SHALL NOT BE AUDIBLE BEYOND THE AREA UNDER CONTROL OF THE LICENSEE(S). THE QUARTERLY GROSS SALES OF ALCOHOLIC BEVERAGES SHALL NOT EXCEED THE GROSS SALES OF FOOD DURING THE SAME PERIOD. THE LICENSEE SHALL AT ALL TIMES MAINTAIN RECORDS WHICH REFLECT SEPARATELY THE GROSS SALE OF FOOD AND THE GROSS SALES OF ALCOHOLIC BEVERAGES OF THE LICENSED BUSINESS. SAID RECORDS SHALL BE KEPT NO LESS FREQUENTLY THAN ON A QUARTERLY BASIS AND SHALL BE MADE AVAILABLE TO THE DEPARTMENT ON DEMAND. FULL MEAL SERVICE SHALL BE AVAILABLE TO PATRONS AT ALL TIMES ALCOHOLIC BEVERAGE SALE PRIVILEGES ARE BEING EXERCISED. THE SALE OF ALCOHOLIC BEVERAGES FOR CONSUMPTION OFF THE PREMISES IS PROHIBITED. NO ALCOHOLIC BEVERAGES SHALL BE CONSUMED ON ANY PROPERTY ADJACENT TO THE LICENSED PREMISES UNDER THE CONTROL OF THE LICENSEE(S). LOITERING IS PROHIBITED ON THESE PREMISES OR THIS AREA UNDER THE CONTROL OF THE LICENSEE(S). THE PETITIONER(S) SHALL BE RESPONSIBLE FOR MAINTAINING FREE OF LITTER THE AREA ADJACENT TO THE PREMISES OVER WHICH THEY HAVE CONTROL. <p>EMPLOYEE TRAINING – EMPLOYEES INVOLVED IN THE SALE OR SERVICE OF ALCOHOLIC BEVERAGES SHALL PROVIDE EVIDENCE THAT THEY HAVE EITHER:</p> <ol style="list-style-type: none"> COMPLETED TRAINING GIVEN BY THE STATE OF CALIFORNIA DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL (ABC), SANTA BARBARA DISTRICT OFFICE ADMINISTERED "LEADERSHIP AND EDUCATION IN ALCOHOL AND DRUGS" (LEAD) PROGRAM IN THE FORM OF AN ABC ISSUED CERTIFICATE; OR, HAVE COMPLETED AN ACCEPTED EQUIVALENT BY THE ABC, SANTA BARBARA DISTRICT OFFICE TO ENSURE PROPER DISTRIBUTION OF BEER, WINE AND DISTILLED SPIRITS TO ADULTS OF LEGAL AGE. IF ANY PROSPECTIVE EMPLOYEE DESIGNATED TO SELL ALCOHOLIC BEVERAGES DOES NOT CURRENTLY HAVE SUCH TRAINING, THEN, THE ABC LICENSED PROPRIETORS SHALL CONFIRM WITH THE POLICE DEPARTMENT'S COMMUNITY RESOURCE UNIT, WITHIN 30 DAYS OF THE PLANNING COMMISSION'S ENTITLEMENT APPROVAL, THAT A DATE CERTAIN HAS BEEN SCHEDULED WITH THE LOCAL ABC OFFICE TO COMPLETE THE LEAD COURSE. <p>IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT AND/OR THE RESTAURANT MANAGEMENT STAFF TO PROVIDE THE EMPLOYEES WITH THE KNOWLEDGE AND SKILLS THAT WILL ENABLE THEM TO COMPLY WITH THEIR RESPONSIBILITIES UNDER STATE AND CITY LAWS AND ORDINANCES.</p> <p>OTHER SECURITY CONCERNS – THE BUSINESS WILL CORRECT ANY SAFETY OR SECURITY CONCERNS UPON WRITTEN NOTICE BY THE THOUSAND OAKS POLICE DEPARTMENT.</p>	<ol style="list-style-type: none"> BEFORE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR TO OBTAIN ALL CLEARANCES OF THE BUILDING PERMIT THAT ARE REQUIRED AND APPLICABLE, INCLUDING THE ONES FOR FOR DEMOLITION AND DEBRIS REMOVAL FROM THE SITE. ALL WORK TO BE PERFORMED UNDER THE APPLICATION AND PERMIT SHALL COMPLY WITH THE APPLICABLE CODES AS LISTED ON DRAWING G-0.1 FROM THIS SET OF DOCUMENTS. NEED PENETRATIONS THROUGH FIRE-RESISTANT RATED PARTITIONS AND FLOORS SHALL BE PROTECTED IN COMPLIANCE WITH CBC SECTION 701. FIRE-RESISTANT RATED PARTITIONS SHALL EXTEND UP TO AND BE SECURED TO THE UNDERSIDE OF THE FLOOR STRUCTURE ABOVE. RATED PARTITION ASSEMBLIES TO CONFORM WITH ESTABLISHED UNDERWRITERS LABORATORIES STANDARDS. ALL DOORS AND FRAMES IN FIRE-RESISTANT RATED FIRE ENCLOSURES, FIRE/SMOKE DIVISIONS AND FREE SEPARATIONS SHALL BE SELF-CLOSING, SELF-LATCHING, FIRE RATED SWING DOORS BEARING THE UNDERWRITERS LABORATORIES LABEL

PROJECT

THE DROP YARD

880 S WESTLAKE BLVD.
WESTLAKE VILLAGE, CA 91361

OWNER

TRUCK STOP HOLDINGS, LLC

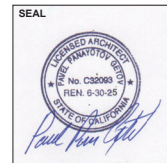
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DATE	DESCRIPTION
2023-01-26	IN PROGRESS_PLANNING
2023-03-02	IN PROGRESS_B & S
2023-05-31	APPLICATION-MM & SUP

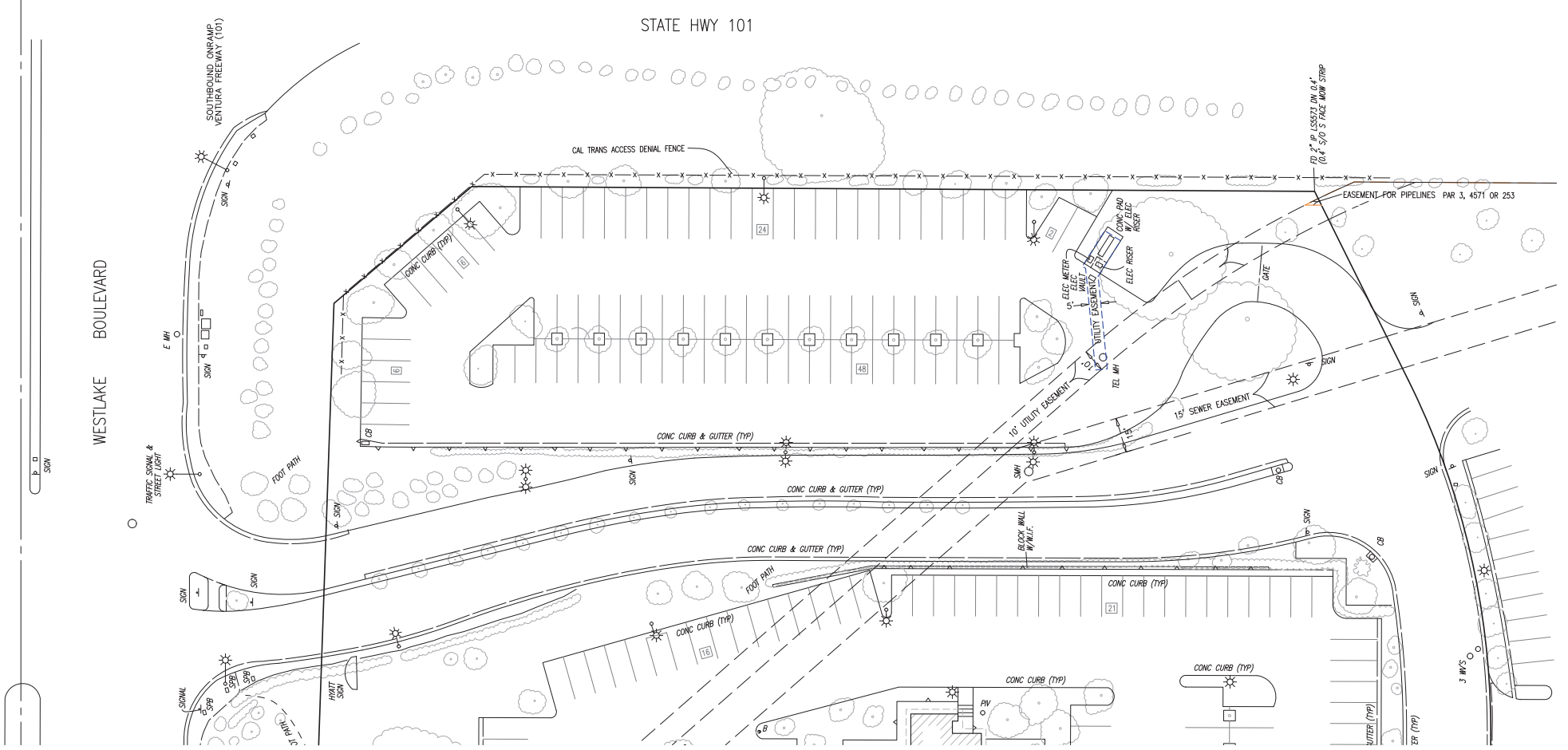
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ABBREVIATIONS /
NOTES /
CUT SHEET

G-1.1

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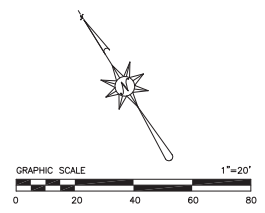
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THIS IS NOT A MAP OF A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.

SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING ARE SET BY OTHERS, AND HAVE BEEN USED ONLY AS REFERENCE FOR THE PURPOSE OF TOPOGRAPHICAL MAPPING, WITHOUT OUR VERIFICATION OF THEIR AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.

RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES AS SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS THAT A BOUNDARY SURVEY MAY REQUIRE.



LEGEND

- | | |
|-------|-----------------------------|
| ASPH | ASPHALT |
| BH | BOLLARD |
| CAB | CABLE TV |
| CB | CATCH BASIN |
| CO | CLEAN OUT |
| CONC | CONCRETE |
| EDS | EDISON |
| FD | FOUND |
| FH | FIRE HYDRANT |
| H | HANDICAP PARKING |
| IP | IRON PIPE (SURVEY MARKER) |
| L&T | LEAD & TACK |
| LT&T | LEAD, TACK & (SURVEY) TAG |
| MH | POST INDICATOR VALVE (FIRE) |
| PNV | SPIKE & WASHER |
| SDMH | STORM DRAIN MANHOLE |
| SMH | SEWER MANHOLE |
| S/O | SOUTH OF |
| SPB | SIGNAL PULL BOX |
| TEL | TELEPHONE |
| TYP | TYPICAL |
| WIF | WROUGHT IRON FENCE |
| WM | WATER METER |
| WV | WATER VALVE |
| --- | RETAINING WALL |
| -x-x- | CHAIN LINK FENCE |
| -o-o- | WOOD FENCE |
| - | WROUGHT IRON FENCE |

PREPARED FOR

DEREK REYNOLDS

LEGAL DESCRIPTION

A PORTION OF PARCEL 1, 37 PM 47 OF PARCEL MAPS.

NOTE

DATE OF SURVEY: AUGUST 2017

THIS MAP WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT, BOUNDARY AND EASEMENTS (IF ANY) HAVE BEEN PLOTTED FROM RECORD INFORMATION.

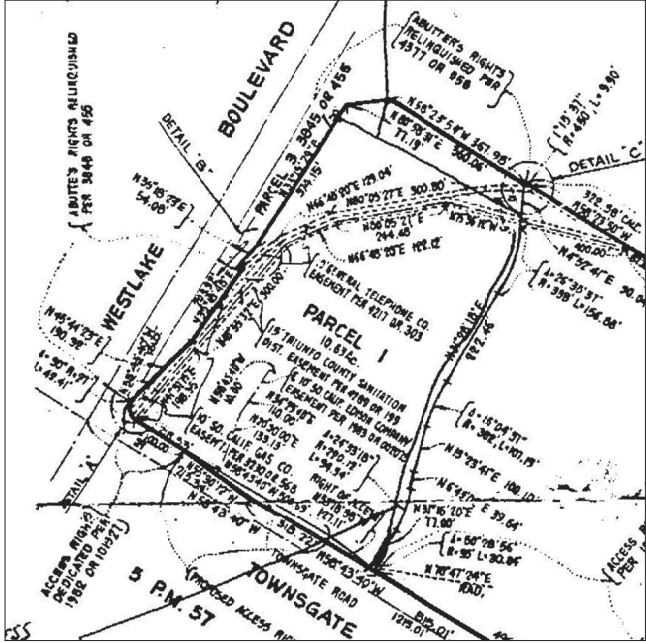
SETBACKS AND OTHER REPORTS SHOWN HEREON ARE SUBJECT TO INTERPRETATION BY CITY PLANNER AND SHOULD BE REVIEWED PRIOR TO DESIGN.

UNDERGROUND UTILITIES SHOWN HEREON ARE FROM RECORD INFORMATION AND HAVE NOT BEEN FIELD VERIFIED. PRIOR TO ANY DIGGING CONTACT UNDERGROUND SERVICE ALERT AT "DIG ALERT" 1-800-422-4133.

#	REVISIONS	DATE

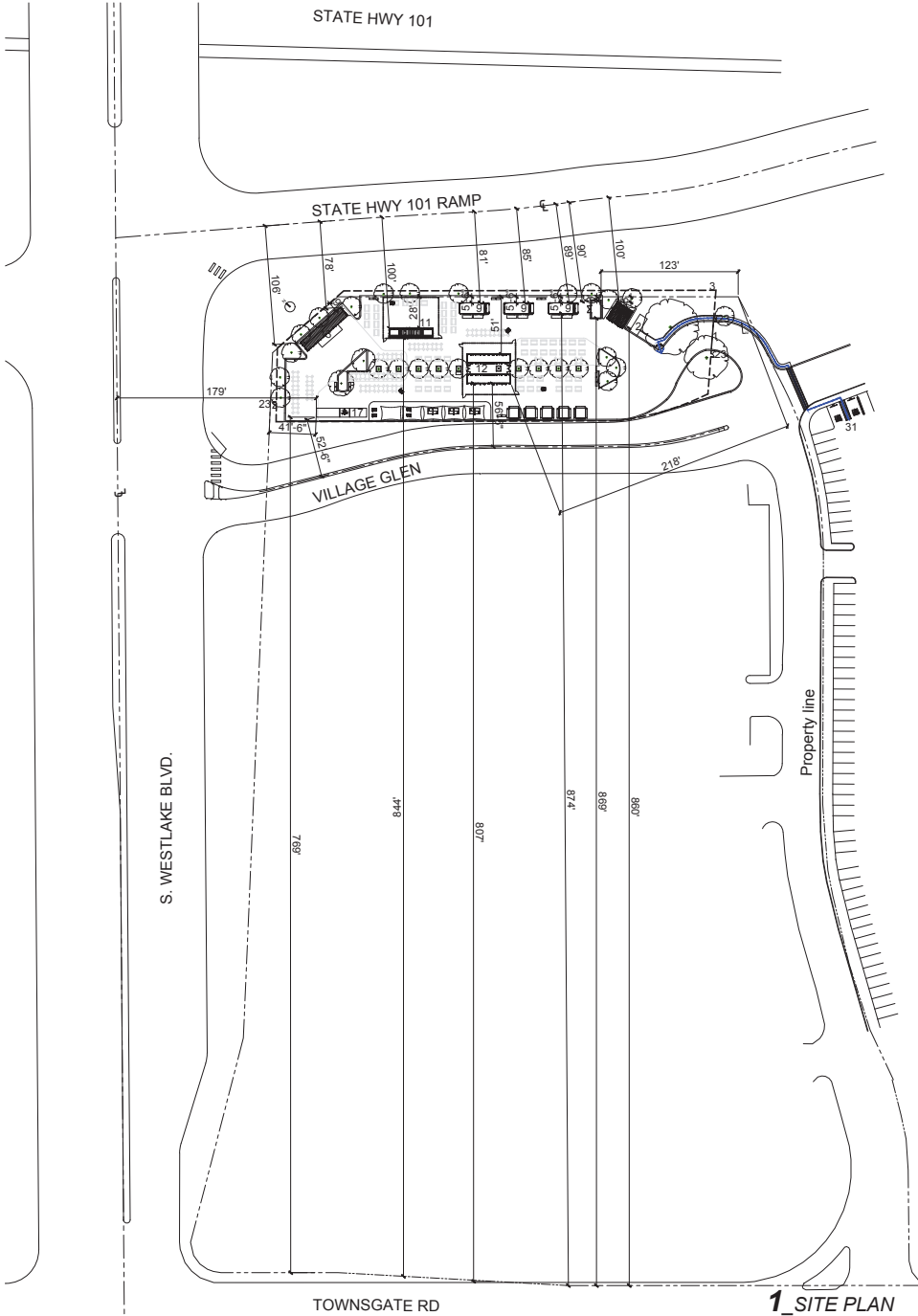
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CIVIL • SURVEY • DESIGN
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www.peakinc.com

A.P.N. 643-0-130-315	
CITY OF THOUSAND OAKS	
SITE PLAN	
880 S. WESTLAKE BOULEVARD	
DRAWN BY / DATE CG JANUARY 2023	CHECKED BY / DATE SHEET 1 OF 1



2_PARCEL MAP

- LEGEND SITE PLAN
1. GATE, DETAIL 1 / G-2.1
 2. ELECTRICAL EQUIPMENT / TRANSFORMER
 3. FENCE, DETAIL 1 / G-2.1
 4. PROPERTY LINE
 5. LANDSCAPED AREA
 6. CONCRETE
 7. EXISTING CONCRETE (ALT. DECOMPOSED GRANITE)
 8. ARTIFICIAL TURF
 9. FOOD TRUCK (TYP.)
 10. VENDOR PROVIDED TEMPORARY POP-UP RETAIL KIOSKS (TYP.)
 11. BAR 1, DETAIL 2 / G-2.1
 12. BAR 2, DETAIL 3 / G-2.1 AND SK-1
 13. STAGE (FLATBED TRUCK), DETAIL 5 / G-2.1
 14. STANDING / DANCING AREA
 15. TABLES / BENCHES / DINING (TYP.)
 16. OUTDOOR GAMES - CORNHOLE, PING-PONG.
 17. RESTROOMS, G-2.2
 18. TRASH / RECYCLING RECEPTACLES
 19. TV MONITORS
 20. STORAGE DETAIL 4 / G-2.1
 21. SAIL SHADE ABOVE
 22. ACCESSIBLE ROUTE FROM PARKING
 23. GATE DETAIL 1 / G-2.1
 24. FENCED AREA FOR ALCOHOL CONSUMPTION
 25. PUBLIC WAY
 26. WASTE ENCLOSURE DETAIL 6 / G-2.1
 27. EXISTING RETAINING WALL
 28. UTILITY EASEMENT (10' WIDE)
 29. SEWER EASEMENT (15' EASEMENT)
 30. PROPOSED NEW UTILITY TRENCH
 31. ACCESSIBLE PARKING STALLS
 32. FIRE DEPARTMENT ACCESS GATE WITH KNOX DEVICE
 33. FOOT PATH
 34. CROSSWALK
 35. BIKE RACK FOR 36 BIKES
 36. FIRE PIT
 37. ACCESSIBLE TABLE SEAT



1_SITE PLAN

PROJECT
THE DROP YARD

880 S WESTLAKE BLVD.
WESTLAKE VILLAGE, CA 91361

OWNER

TRUCK STOP HOLDINGS, LLC

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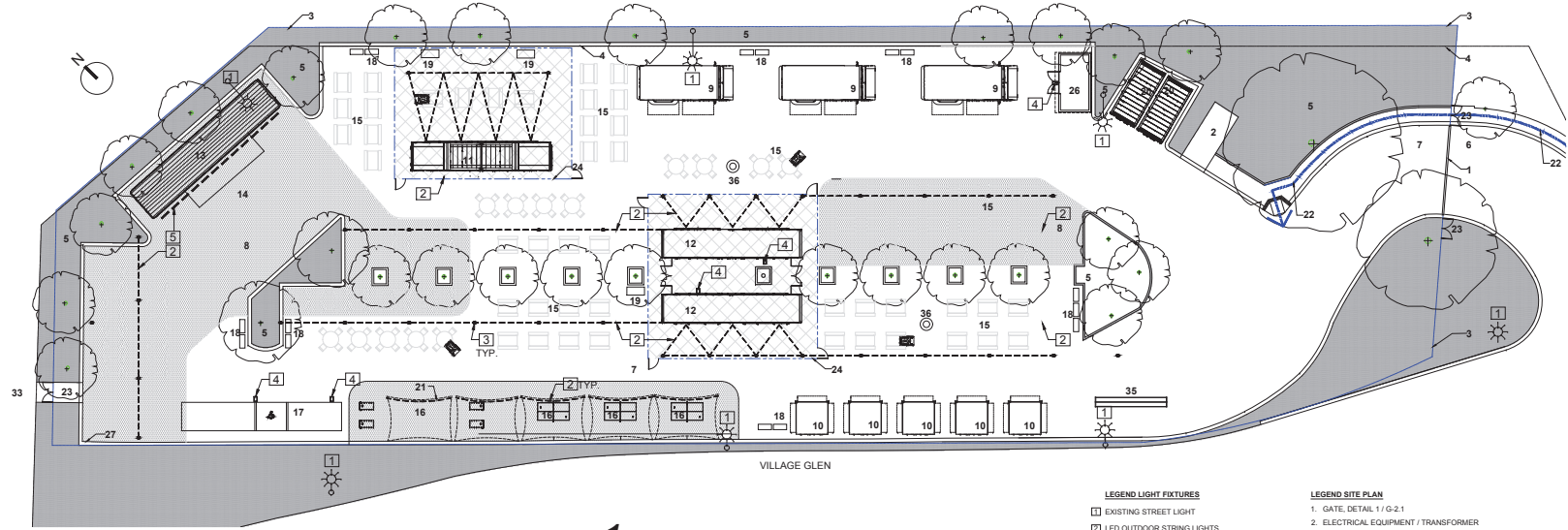
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OVERALL SITE PLAN

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1_LIGHTING PLAN _SCALE: 1/16"=1'-0"

LEGEND LIGHT FIXTURES

- 1. EXISTING STREET LIGHT
- 2. LED OUTDOOR STRING LIGHTS
- 3. STRING LIGHTS POLE
- 4. LED EXTERIOR WALL ATTACHED LIGHT FIXTURE
- 5. LGMAN UTA 31861 CYLINDRICAL DOWNLIGHT OR EQUAL
- 6. STAGE LIGHTS

LEGEND SITE PLAN

- 1. GATE, DETAIL 1 / G-2.1
- 2. ELECTRICAL EQUIPMENT / TRANSFORMER
- 3. FENCE, DETAIL 1 / G-2.1
- 4. PROPERTY LINE
- 5. LANDSCAPED AREA
- 6. CONCRETE
- 7. EXISTING CONCRETE (ALT. DECOMPOSED GRANITE)
- 8. ARTIFICIAL TURF
- 9. FOOD TRUCK (TYP.)
- 10. VENDOR PROVIDED TEMPORARY POP-UP RETAIL KIOSKS (TYP.)
- 11. BAR 1, DETAIL 2 / G-2.1
- 12. BAR 2, DETAIL 3 / G-2.1 AND SK-1
- 13. STAGE (FLATBED TRUCK), DETAIL 5 / G-2.1
- 14. STANDING / DANCING AREA
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- 18. TRASH / RECYCLING RECEPTACLES
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- 20. STORAGE DETAIL 4 / G-2.1
- 21. SHAL SHADE ABOVE
- 22. ACCESSIBLE ROUTE FROM PARKING
- 23. GATE DETAIL 1 / G-2.1
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- 25. PUBLIC WAY
- 26. WASTE ENCLOSURE DETAIL 6 / G-2.1
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- 35. BIKE RACK FOR 36 BIKES
- 36. FIRE PIT
- 37. ACCESSIBLE TABLE SEAT

PROJECT

THE DROP YARD

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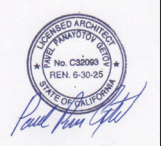
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LIGHTING PLAN

A-0.3

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UTA-31861 Tango 29 Cylindrical Downlight

microVos TECHNOLOGY

LIGMAN LIGHTING USA

Construction

Aluminum body with 0.1% copper content. Marine grade stainless steel mounting bracket. High pressure die casting process ensures mechanical strength. Clear anodized product finish and excellent heat dissipation.

Die Cast

Black anodized and phosphate process that provides corrosion resistance as well as a fine and smooth granular surface for product painting.

Mounting

Marine grade stainless steel. Provided with special injection molded "H" for universal "H" long life high temperature epoxy resin under gasket. Maintains the gasket seal profile and seal over years of use and compression.

Thermal Management

UMA Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The unique thermal heat sink design by Ligman uses an aluminum alloy with the driver, controls thermal better critical temperature range to ensure maximum lumens flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard surge suppressor provided with all fixtures.

Ballast

80-120-27

Finishing

All ligman products go through an extensive finishing process that includes testing to improve paint adhesion.

Paint

UV Stabilized 4000h thick powder coat paint. UV resistant - 4000h. This process ensures that Ligman products are resistant to UV radiation. Rated for use in marine environments.

Hardware

Provided hardware is Marine grade 316.

Anti Static Screen Holes

Screen holes are affixed with a special anti static compound designed to prevent static of product connection, due to electricity from heat, corrosion environments and.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green tinting.

Optics & LED

Precision spin design provides exceptional light control and precise distribution of light. LED CRI > 90.

Lumen Maintenance Life

UMA 80% at 50,000 hours (This means that at least 80% of the LED will achieve 80% of their original flux).

Specifications

Product Length (ft.) 48 ft.

Lighted Length (ft.) 44.28 ft.

Dimensions

Product Length (ft.) 48 ft.

Details

Bulb Color White

Compatible Bulb Type LED

Exterior Lighting Product Type String Light

Indoor/Outdoor Indoor, Outdoor

Light Bulb Type Included LED

Max. Bulb Wattage (W) 0 W

Pack Size 1

Product Weight (lb.) 4.23 lb.

Adjustable 90-Deg

String Light Style Edison

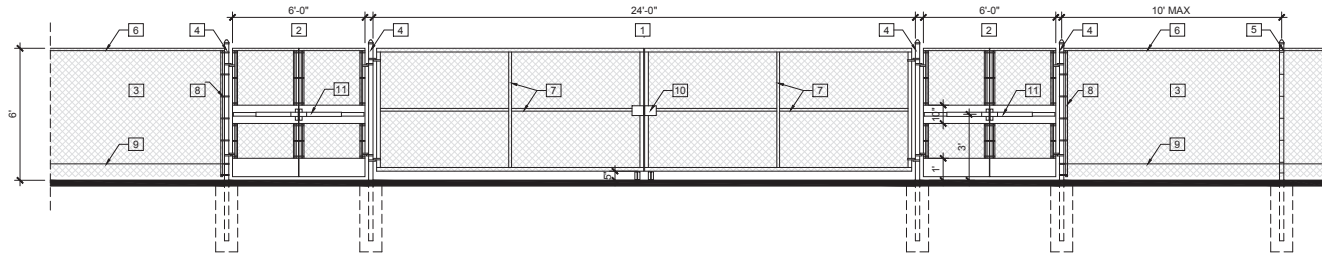
Warranty / Certifications

Manufacturer Warranty 5-year

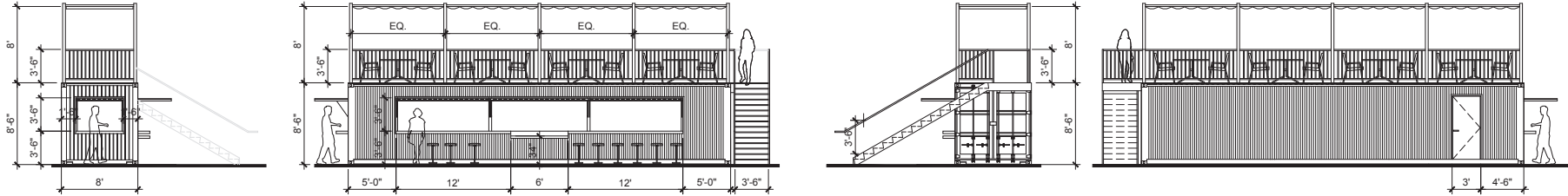
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LEGEND

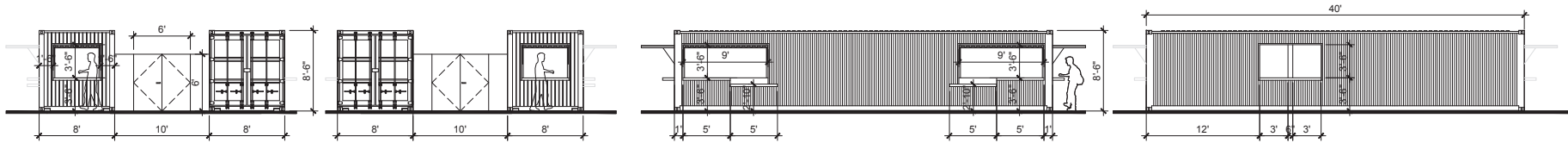
- 1 GATE
- 2 PEDESTRIAN GATE
- 3 CHAIN LINK MESH
- 4 END POST
- 5 LINE POST, MESH ATTACHED WITH TIES
- 6 TOP RAIL
- 7 BRACE RAIL
- 8 TENSION BAR WITH TENSION BAND
- 9 TENSION WIRE
- 10 GATE SECURED WITH KNOX DEVICE
- 11 PANIC HARDWARE



1_FENCE AND GATES SCALE: 3/8" = 1'-0"

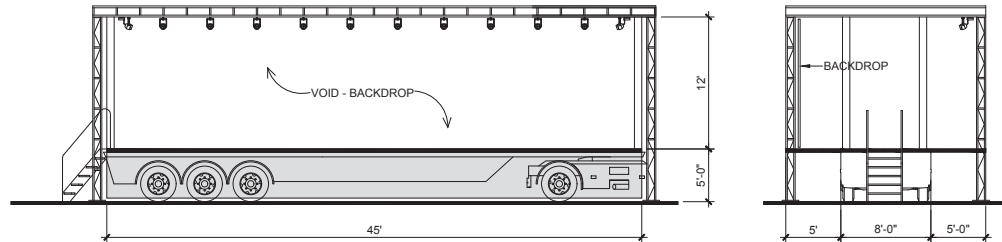
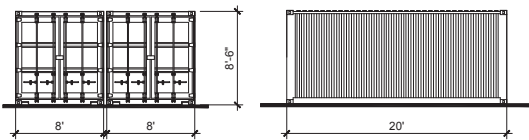


2_BAR 1 40' PRE-FABRICATED CONTAINER (BY OTHERS) STATIONARY FIXED AND ALL PLUMBING CONNECTED TO SITE UTILITIES SCALE: 3/16" = 1'-0"

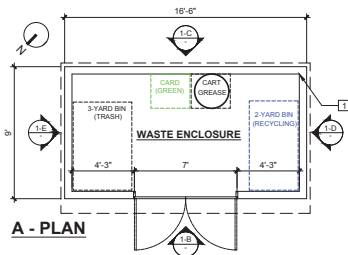


3_BAR 2 40' PRE-FABRICATED CONTAINER (BY OTHERS) STATIONARY FIXED AND ALL PLUMBING CONNECTED TO SITE UTILITIES SCALE: 3/16" = 1'-0"

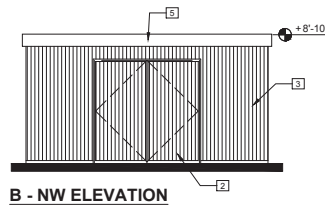
4_STORAGE PRE-FABRICATED CONTAINER (BY OTHERS) STATIONARY FIXED
SCALE: 3/16" = 1'-0"



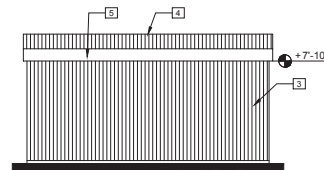
5_STAGE FLAT BED SCALE: 3/16" = 1'-0"



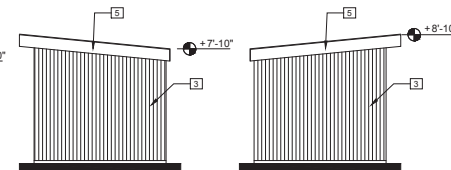
A - PLAN



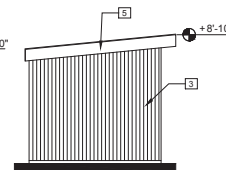
B - NW ELEVATION



C - SE ELEVATION



D - SW ELEVATION



E - NE ELEVATION

6_WASTE ENCLOSURE SCALE: 1/4" = 1'-0"

LEGEND

- 1 STUD WALL FRAMING
- 2 LOUVERED DOOR
- 3 PROFILED METAL PANEL
- 4 PROFILED METAL PANEL ROOFING
- 5 PAINTED FACIA

PROJECT

THE DROP YARD

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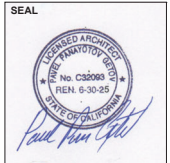
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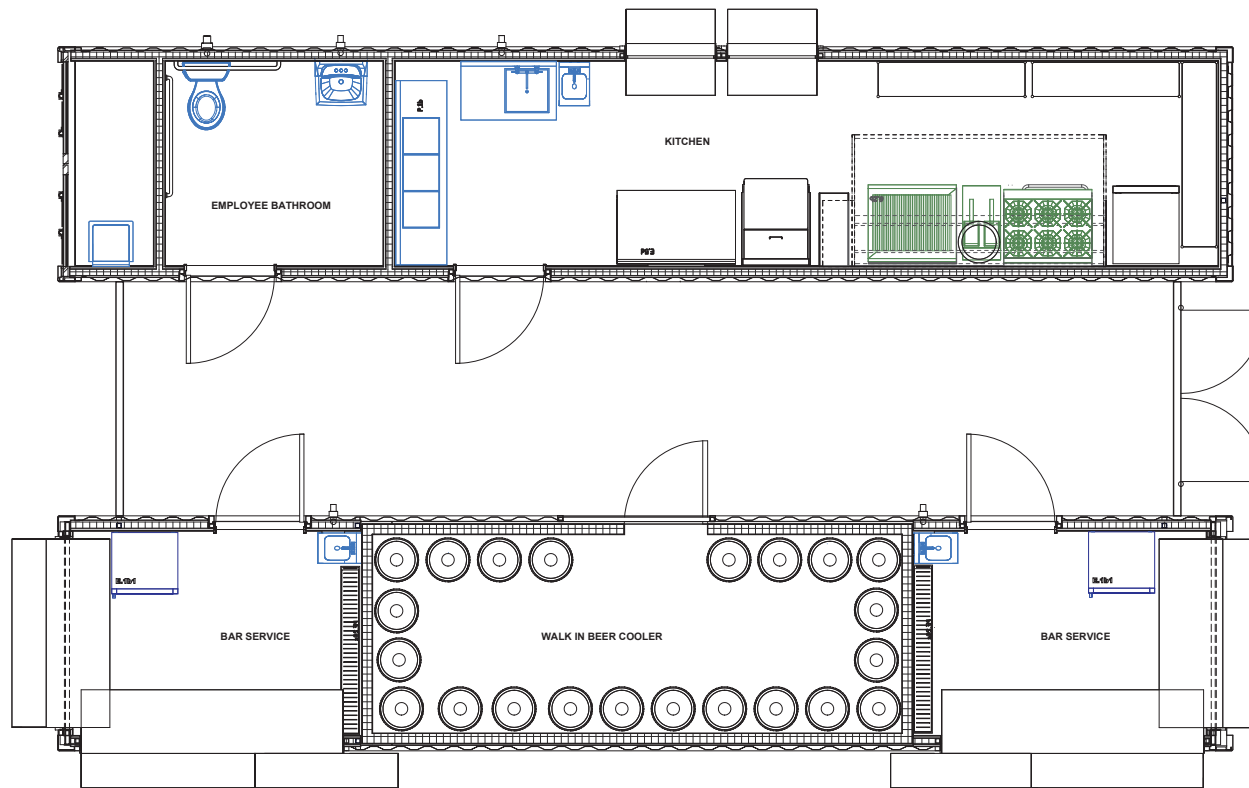
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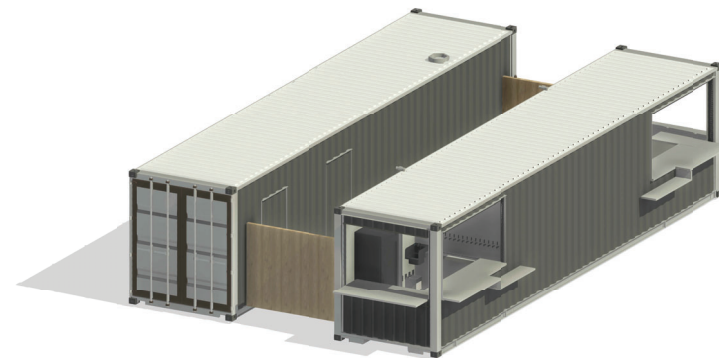
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① SK
1/2" = 1'-0"



② {3D} Copy 1 _____

③ {3D} Copy 1 Copy 1 _____

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MANUFACTURED COMMERCIAL MODULAR UNITS
 AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 H.C.D.

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DROP YARD
Enter address here

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06/22/2023

FAST CHECKED
JJ

PRELIMINARY PLANS

A-1.3

SHEET NUMBER

SK-1
PAGES @ 24"X36"



1_ELEVATION_SCALE: 1/8"=1'-0"



2_ELEVATION_SCALE: 1/8"=1'-0"

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ISSUES / REVISIONS	
△ DATE	DESCRIPTION
2023-01-26	IN PROGRESS, PLANNING
2023-03-02	IN PROGRESS, B & S
2023-05-31	APPLICATION-MM & SUP.

DRAWING TITLE AND NUMBER

SITE ELEVATIONS

A-2.1

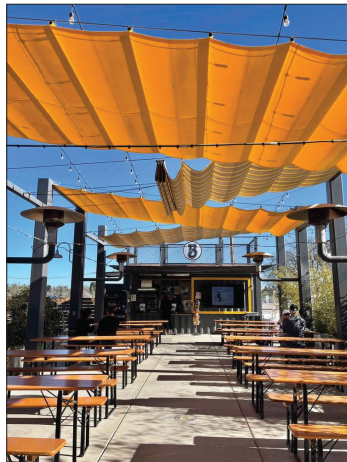
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1_MIKE HESS , IMPERIAL BEACH, CA

www.mikehessbrewing.com



2_THE BACKYARD, PASO ROBLES, CA

www.thebackyardpaso.com



3_CRACKHEADS, CARLSBAD, CA

www.crackheads.com



4_SPARK SOCIAL, SAN FRANCISCO, CA
www.sparksocialsf.com

PROJECT

THE DROP YARD

880 S WESTLAKE BLVD.
WESTLAKE VILLAGE, CA 91361

OWNER

TRUCK STOP HOLDINGS, LLC

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IMAGES OF SIMILAR VENUES

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ARTIST RENDERINGS



PROJECT

THE DROP YARD

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ARTIST RENDERINGS
OF PROPOSED VENUE

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