



ARTIST RENDERINGS - AERIAL VIEW



ARTIST RENDERINGS - TOP VIEW

THE DROP YARD

PROJECT DESCRIPTION

- OUTDOOR BAR AND FOOD VENUE WITH THE ON-SITE CONSUMPTION OF ALCOHOLIC BEVERAGES INCLUDING:
 - THREE FOOD AND BEVERAGE TRUCKS
 - TWO BARS IN MODIFIED CONTAINERS
 - PORTABLE RESTROOM TRAILERS
 - A FLATBED TRUCK STAGE
 - SHIPPING CONTAINER STORAGE
 - ASSOCIATED SITE IMPROVEMENTS ON EXISTING PARKING LOT
- HOURS OF OPERATION: WEDNESDAY AND THURSDAY FROM 4PM TO 11PM, FRIDAY FROM 11AM TO 11PM, AND SATURDAY AND SUNDAY FROM 9AM TO 11PM, CLOSED MONDAY AND TUESDAY
- MAXIMUM CAPACITY: 995
- NUMBERS OF EMPLOYEES: PROVIDED BY HYATT HOTEL, UP TO 12

PROJECT NARRATIVE:

THE PROPOSED FACILITY PROVIDES A COMBINATION OF DINING, POP-UP RETAIL, AND ENTERTAINMENT AMENITIES. THE MAXIMUM CAPACITY OF THE ESTABLISHMENT IS 995 PATRONS AND SERVICE PERSONNEL.

THE OPERATION HOURS ARE WEDNESDAY AND THURSDAY FROM 4PM TO 11PM, FRIDAY FROM 11AM TO 11PM, AND SATURDAY AND SUNDAY FROM 9AM TO 11PM. IT WILL BE CLOSED ON MONDAY AND TUESDAY. LIVE MUSIC MAY BE PERFORMED WITHIN THE OPERATION HOURS.

UPON ARRIVAL WITH CAR, THE PATRONS PARK IN THE EXISTING HOTEL PARKING AND ENTER FROM THE SOUTH EAST GATES OF THE LOT. ADDITIONAL PEDESTRIAN ENTRY IS PROVIDED ON THE NORTH EAST SIDE OF THE LOT FACING THE INTERSECTION CROSS WALK AT WESTLAKE BOULEVARD. THE PROPOSED ACCESSIBLE PARKING STALLS ARE IN THE CLOSES PROXIMITY TO MAIN SOUTHEAST ENTRY. THE FACILITY IS FULLY ACCESSIBLE.

THE DINING AMENITIES ARE PROVIDED BY THREE FOOD AND BEVERAGE TRUCKS AND TWO BARS IN MODIFIED SHIPPING CONTAINERS. THE FOOD TRUCKS WILL SERVE VARIETY OF FOOD. THE BARS WILL SERVE LIGHT FOOD BEER AND WINE. NO HARD ALCOHOL WILL BE SOLD ON THE PREMISES. THE FOOD AND BEVERAGES WILL BE SELF-SERVED - UPON PURCHASING, THE PATRONS WILL CARY THE ORDER TO THE SEATING AREA IN THE CENTER OF THE SPACE. THE FOOD TRUCK WILL ARRIVE AND SET-UP ONE HOUR BEFORE OPENING, AND WILL CLEAN UP AND COLLECT THE STATIONS WITHIN AN HOUR AFTER CLOSING. THE TRUCKS MAY ROTATE ON A SEASONAL BASIS.

THERE WILL BE APPROXIMATELY TWO PEOPLE WORKING AT EACH OF THE FOOD TRUCKS AND TWO TO THREE AT EACH OF THE TWO BARS.

THE POP-UP RETAIL STATIONS WILL BE PROVIDED BY VENDORS THEMSELVES. THEY WILL ARRIVE AND SET-UP THE STATIONS ONE HOUR BEFORE OPENING, AND WILL CLEAN UP AND COLLECT THE STATIONS WITHIN AN HOUR AFTER CLOSING HOUR. THE PROPOSED RETAIL ITEMS WILL BE LOCAL PRODUCE AND LOCAL ARTISAN ARTICLES. IT IS EXPECTED EACH POP-UP RETAIL STATION TO BE SERVED BY APPROXIMATELY ONE OR TWO SELLERS.

THE PROPOSED DESIGN PROVIDES SUFFICIENT AMOUNT OF RESTROOMS, INCLUDING AN ACCESSIBLE ONE.

ADDITIONAL AMENITIES ARE CORNHOLE AND PING-PONG GAMES, LOCATED ON THE WEST SIDE OF THE AREA

THIS IS A KIDS AND DOGS FRIENDLY PLACE. IT IS SECURED BY A FENCE AND ON-SITE SECURITY PERSONNEL DURING OPERATION HOURS, PROVIDED BY THE HOTEL. THE EMERGENCY EVACUATION / EGRESS PLAN IS ON DRAWING G-0.1

THE PERSONNEL SERVICING THE PROPOSED PROJECT WILL BE HYATT HOTEL EMPLOYEES.

ULTIMATELY, THE GOAL OF THE DROP YARD PROJECT IS TO PROVIDE A VIBRANT CENTER SERVING AS A FOCAL POINT FOR THE LOCAL COMMUNITY AND BEYOND.

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PROJECT DIRECTORY

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PROJECT THE DROP YARD

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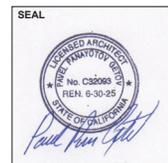
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2024-06-04_MINOR MODIFICATION AND SUP APPLICATION_REVISD

NOT FOR CONSTRUCTION



ISSUES / REVISIONS	
DATE	DESCRIPTION
2023-01-26	IN PROGRESS, PLANNING
2023-03-02	IN PROGRESS, B & S
2023-05-31	APPLICATION-MM & SUP

DRAWING TITLE AND NUMBER

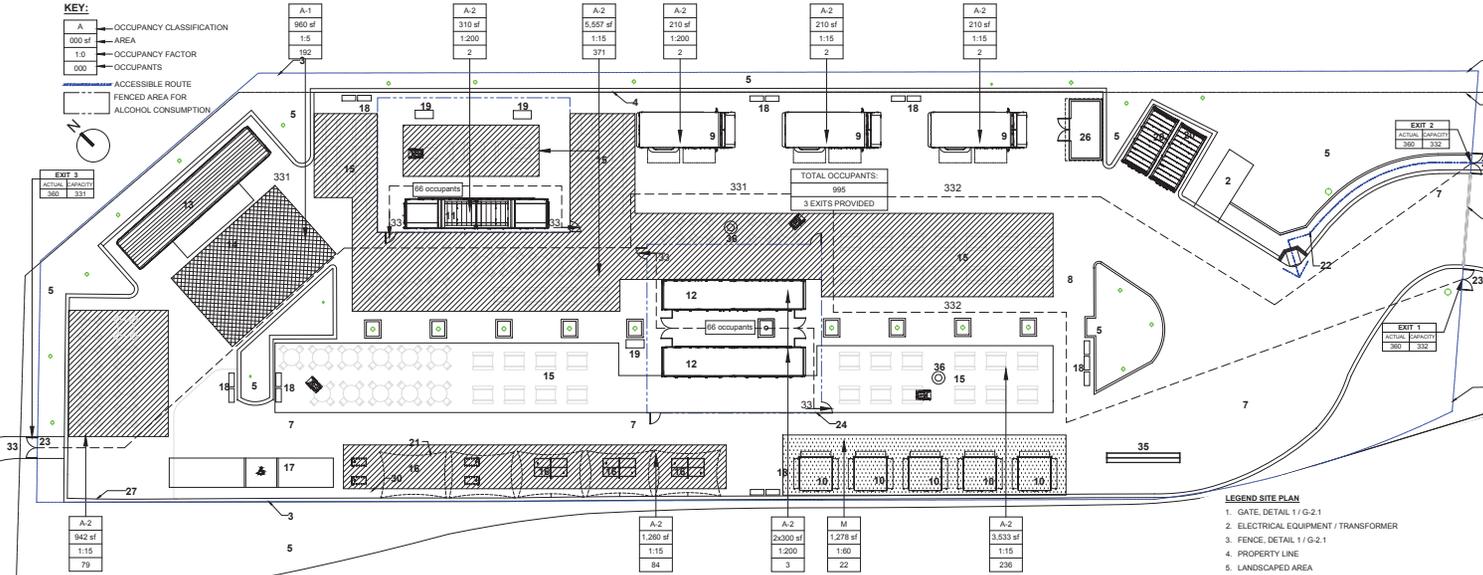
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KEY:

A	OCCUPANCY CLASSIFICATION
000 sf	AREA
1:0	OCCUPANCY FACTOR
900	OCCUPANTS
ACCESSIBLE ROUTE	
FENCED AREA FOR ALCOHOL CONSUMPTION	



PROJECT INFORMATION

PROJECT ADDRESS	880 S WESTLAKE BLVD, WESTLAKE VILLAGE, CA 91361
JURISDICTION	CITY OF THOUSAND OAKS
ASSESSOR PARCEL NUMBER (APN)	693-0-130-315
LEGAL DESCRIPTION	A PORTION OF PARCEL 1, L.D.485 - BOOK 6, PAGE 57 OF PARCEL MAPS
ZONING	C-4
OCCUPANCY	A-2

DROP YARD SCOPE ONLY - AREA CALCULATIONS

LOT AREA (WITHIN FENCE)	41,900 SF
FOOD TRUCKS (TOTAL)	660 SF
STAGE	530 SF
BAR 1 - FIXED MODIFIED SHIPPING CONTAINERS	320 SF
BAR 2 - FIXED MODIFIED SHIPPING CONTAINERS	640 SF
WASTE ENCLOSURE	150 SF
ACCESSORY - TOILETS	360 SF
ACCESSORY - STORAGE	320 SF
DROP YARD PROJECT ONLY - TOTAL	2,980 SF
DROP YARD STRUCTURES ONLY - COVERAGE	1,720 SF
FAR (DROP YARD PROJECT ONLY)	0.07
ARTIFICIAL TURF (OVER EXISTING CONCRETE)	9,000 SF
DECOMPOSED GRANITE (OVER EXISTING CONCRETE)	21,500 SF
LANDSCAPED AREA	11,000 SF
PARKING SPACES	381
BIKE RACKS FOR TOTAL NUMBER OF BIKES:	36

1 AREA CALCULATIONS (NET) EGRESS DIAGRAMS SCALE: 1/16"=1'-0"

MINIMUM PLUMBING FACILITIES PER TABLE 403.1, 2021 CPC

OCCUPANCY	FUNCTION	No OCCUPANTS	WATER CLOSETS		URINALS	LAVATORIES	
			women	men		women	men
BUILDING 14	A-2 ASSEMBLY FOOD AND/OR DRINK CONSUMPTION, UN-CONCENTRATED - TABLE AND CHAIRS	781	3	1	2	2	2
	A-2 ASSEMBLY CONCENTRATED - PERFORMANCE	192	2	1	1	1	1
	M RETAIL	22	1			1	
TOTAL MIN. PLUMBING FACILITIES			5	3	3	6	6
PROVIDED			8	3	3	6	6

EXIT CALCULATIONS

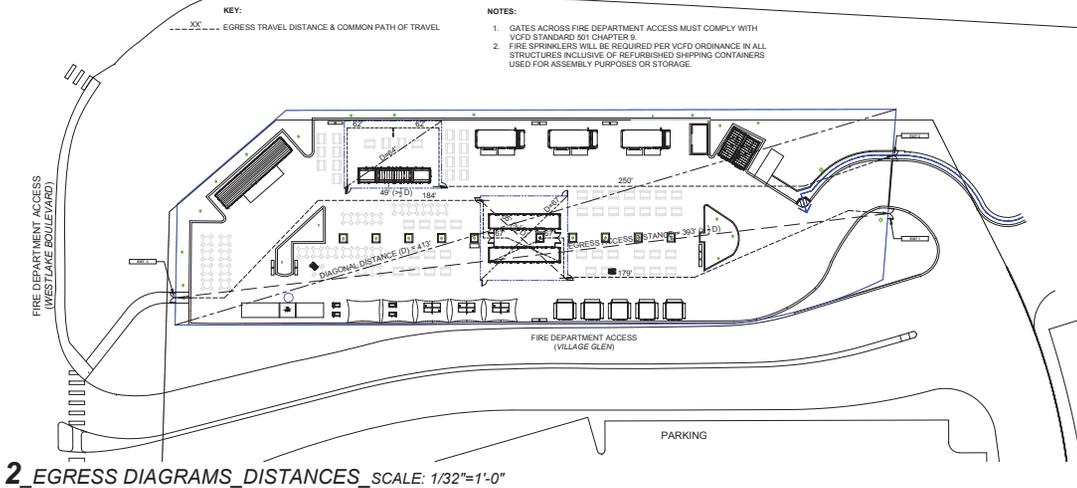
EXIT #	DOOR WIDTH (IN)	GATE FACTOR (IN/OCC)	GATE CAPACITY (OCC)	ACTUAL USE (OCC)
EXIT 1	72 nominal	0.2	360	332
EXIT 2	72 nominal	0.2	360	332
EXIT 3	72 nominal	0.2	360	331
TOTAL			1080	995

- LEGEND SITE PLAN**
- GATE, DETAIL 1 / G-2.1
 - ELECTRICAL EQUIPMENT / TRANSFORMER
 - FENCE, DETAIL 1 / G-2.1
 - PROPERTY LINE
 - LANDSCAPED AREA
 - CONCRETE
 - EXISTING CONCRETE (ALT: DECOMPOSED GRANITE)
 - ARTIFICIAL TURF
 - FOOD TRUCK (TYP.)
 - VENDOR PROVIDED TEMPORARY POP-UP RETAIL KIOSKS (TYP.)
 - BAR 1, DETAIL 2 / G-2.1
 - BAR 2, DETAIL 3 / G-2.1 AND SK-1
 - STAGE (FLATBED TRUCK), DETAIL 5 / G-2.1
 - STANDING / DANCING AREA
 - TABLES / BENCHES / DINING (TYP.)
 - OUTDOOR GAMES - CORNHOLE, PING-PONG.
 - RESTROOMS, G-2.2
 - TRASH / RECYCLING RECEPTACLES
 - TV MONITORS
 - STORAGE DETAIL 4 / G-2.1
 - SAIL SHADE ABOVE
 - ACCESSIBLE ROUTE FROM PARKING
 - GATE DETAIL 1 / G-2.1
 - FENCED AREA FOR ALCOHOL CONSUMPTION
 - PUBLIC WAY
 - WASTE ENCLOSURE DETAIL 6 / G-2.1
 - EXISTING RETAINING WALL
 - UTILITY EASEMENT (10' WIDE)
 - SEWER EASEMENT (15' EASEMENT)
 - PROPOSED NEW UTILITY TRENCH
 - ACCESSIBLE PARKING STALLS
 - FIRE DEPARTMENT ACCESS GATE WITH KNOX DEVICE
 - FOOT PATH
 - CROSSWALK
 - BIKE RACK FOR 36 BIKES
 - FIRE PIT
 - ACCESSIBLE TABLE SEAT

ENTIRE LOT AREA CALCULATIONS

TOTAL SITE AREA (PARCEL 1)	463,043 SF (10.63 ACRES)
EXISTING SITE COVERAGE	116,280 SF
PROPOSED NEW STRUCTURES SITE COVERAGE	1,750 SF
TOTAL LOT COVERAGE	118,030 SF (25%)
EXISTING BUILDING AREA	189,379 SF
TOTAL EXISTING AND NEW ADDITIONAL AREA	192,359 SF
FAR (EXISTING & NEW)	0.42 (ALLOWED 1:1)

- APPLICABLE CODES**
- 2022 CALIFORNIA BUILDING CODE
 - 2022 CALIFORNIA ENERGY CODE
 - 2022 CALIFORNIA ELECTRICAL CODE
 - 2022 CALIFORNIA PLUMBING CODE
 - 2022 CALIFORNIA MECHANICAL CODE
 - 2022 CALIFORNIA FIRE CODE
 - 2022 CALIFORNIA GREEN BUILDINGS STANDARDS CODE AND CITY OF THOUSAND OAKS ORDINANCES AND AMENDMENTS TO THE CODES



2 EGRESS DIAGRAMS DISTANCES SCALE: 1/32"=1'-0"



VICINITY MAP

PROJECT LOCATION

PROJECT
THE DROP YARD

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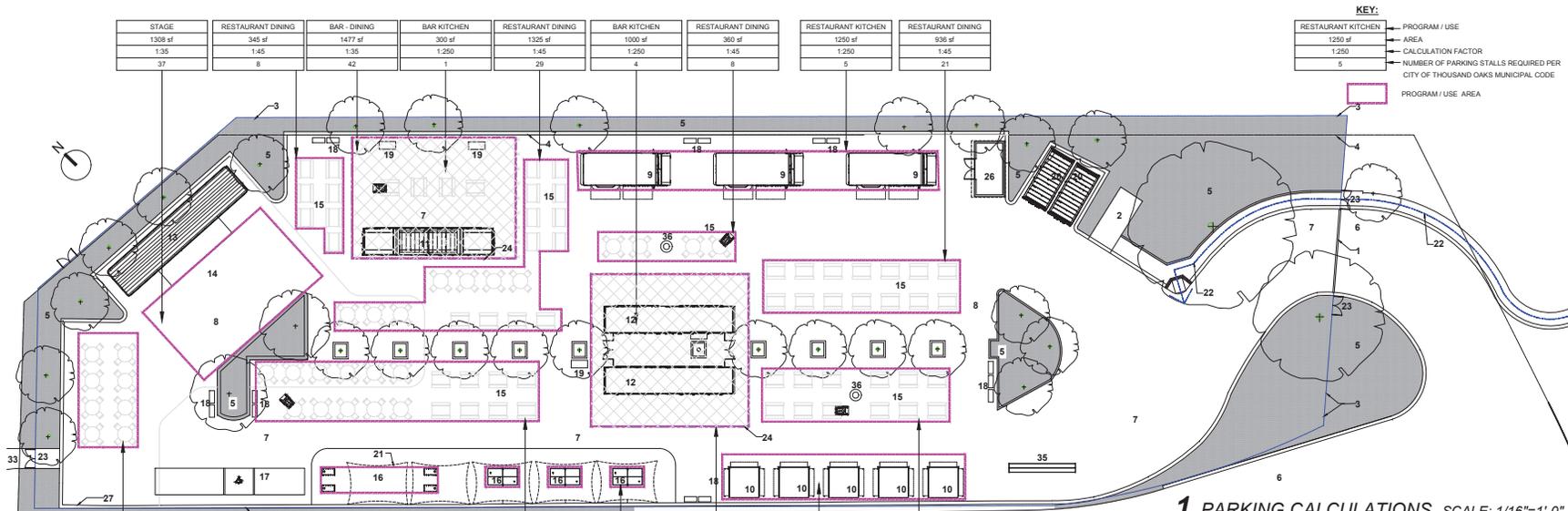
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PROJECT INFORMATION / EGRESS DIAGRAMS

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1_PARKING CALCULATIONS_SCALE: 1/16"=1'-0"

PROGRAM / USE	TOTAL AREA (s.f.)	RATIO FACTOR	STALLS PER CODE
STAGE	1308	1.35	37
RESTAURANT DINING	5971	1.45	133
RESTAURANT KITCHEN	1250	1.250	5
BAR DINING	2639	1.35	75
BAR KITCHEN	1300	1.250	4
RETAIL	988	1.250	4
GAME COURTS	4	3/COURT	12
TOTAL			270

- LEGEND BITE PLAN**
- GATE DETAIL 1 / G-2.1
 - ELECTRICAL EQUIPMENT / TRANSFORMER
 - FENCE, DETAIL 1 / G-2.1
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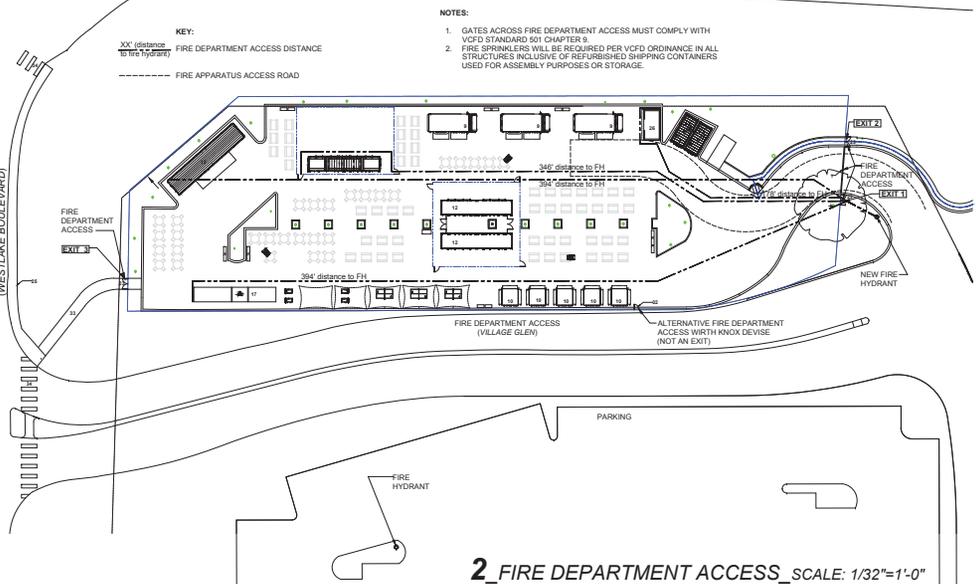
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PARKING CALCULATIONS / EXISTING TREES DIAGRAM

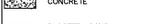
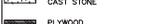
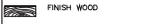
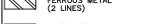
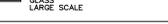
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2_FIRE DEPARTMENT ACCESS_SCALE: 1/32"=1'-0"

SYMBOLS	
	BASEMENT EL. + 11'-2"
	W.P. - 1
	MATCHLINE AG-1.3
	
	
	
	
	
	SECTION # DRAWING #
	DETAIL # DRAWING #
	NEW WALL
	EXISTING CONSTRUCTION
	CONCRETE
	PLASTER, SAND, CAST STONE
	PLYWOOD
	WOOD FRAMING (CONT. MEMBER)
	WOOD FRAMING (NON-CONT. MEMBER)
	FINISH WOOD
	FERROUS METAL (2 LINES)
	ALUMINUM
	EARTH
	ROCK FILL
	BATT INSULATION
	RIGID INSULATION
	GYP. BOARD
	ACOUSTICAL TILE
	CARPET
	FIRE PROOFING
	STRUCTURAL STEEL
	GLASS LARGE SCALE

POLICE DEPARTMENT NOTES	
1.	DOOR SECURITY HARDWARE - EXTERIOR, OUTWARD OPENING SINGLE DOORS SHALL HAVE THE APPROPRIATE TYPE OF LATCH GUARD INSTALLED SO AS TO PREVENT THE VIOLATION OF THE LATCH AND STRIKE. THE LATCH GUARD SHALL BE A MINIMUM OF .125" THICK AND EXTEND A MINIMUM OF SIX INCHES ABOVE AND BELOW THE DOOR LATCH OR DEADBOLT. DOORS UTILIZING RIM AND CYLINDER LOCKS SHALL HAVE HEAVY-DUTY CYLINDER GUARDS INSTALLED. ALL OUTWARD OPENING EXTERIOR DOORS SHALL HAVE HINGES EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK (SET SCREWS) TO PREVENT REMOVAL OF THE DOOR FROM THE OUTSIDE BY REMOVING THE HINGE PINS. BUILDING OPENINGS OTHER THAN DOORS INTENDED FOR CUSTOMER USE (BAR AREAS) WILL HAVE POLICE ACCESS ONLY LOCKING MECHANISMS AS TO PREVENT/DISSUADE ILLEGAL ENTRY FORM THE EXTERIOR AT THESE POINTS.
2.	LIGHTING - WEATHER AND BREAKAGE RESISTANT COVERS SHALL PROTECT ALL EXTERIOR LIGHTING. EXTERIOR LIGHTING FIXTURES WILL BE FULLY ENCLOSED TO MINIMIZE TAMPERING AND BREAKAGE. AFTER HOURS EXTERIOR LIGHTING SHALL PROVIDE SUFFICIENT ILLUMINATION TO ALLOW VIEWING OF THE EXTERIOR OF THE BUILDINGS, ALL PEDESTRIAN WALKWAYS AND PATRON GATHERING AREAS. THE USE OF LIGHT-EMITTING DIODE (LED) IS PREFERRED SINCE LEDS PROVIDE SUPERIOR ILLUMINATION AND COLOR RENDITION. ADEQUATE LIGHTING (3000+ KELVIN / LED / 3 FT CANDLES / EVEN COVERAGE) IS TO BE PROVIDED THROUGHOUT THE PROPERTY WHERE PATRONS ARE ANTICIPATED TO GATHER AS TO CLEARLY SEE PERSONS ALONG THE LENGTH OF THE PROJECT PROPERTY FROM THE ENTRY POINT AND ALONG VILLAGE GLEN TO THE SOUTH DURING HOURS OF OPERATION. ALL LIGHTS SHALL INCLUDE SHIELDING TO PREVENT LIGHT POLLUTION, SPILLAGE, AND GLARE TO ROADWAYS AND ALL SURROUNDING PROPERTIES NOT OWNED AND/OR CONTROLLED BY THE PROJECT OWNERS, INCLUDING OVERHEAD. PROJECT PHOTOMETRICS WILL BE PROVIDED TO THE THOUSAND OAKS POLICE DEPARTMENT COMMUNITY RESOURCE UNIT FOR REVIEW AND APPROVAL.
3.	LANDSCAPING - LANDSCAPING SHALL NOT COVER, NOR PARTIALLY COVER ANY EXTERIOR DOOR OR WINDOW. LANDSCAPING, INCLUDING TREES, WILL NOT BE PLACED DIRECTLY UNDER ANY OVERHEAD LIGHTING THAT COULD CAUSE LOSS OF LIGHT AT GROUND LEVEL. ALL LANDSCAPING WILL BE KEPT TRIMMED IN ORDER TO PROVIDE AN UNOBSTRUCTED VIEW OF THE PARKING AREAS, BUILDINGS AND ENTRY POINTS. THE STANDARD OPTED TIME PREVENTION THROUGH ENVIRONMENTAL DESIGN) LANDSCAPING RULES OF TWO FOOT / SIX FOOT SHALL APPLY TO THE PROPERTY (NO SHRUBBERY SHALL BE HIGHER THAN 2 FEET AND LOWER THE TREE CANOPY SHALL NOT GROW BELOW 6 FEET). THIS WILL REDUCE CONCEALMENT AREAS AND KEEP THE AREA WELL-LIT DURING DARKNESS HOURS. IT IS SUGGESTED THE DEVELOPER CONSIDER THE USE OF THORNY VEGETATION TO PREVENT UNAUTHORIZED PEDESTRIAN ACCESS ALONG FENCES AND/OR THE PROPERTY PERIMETER.
4.	ADDRESS IDENTIFIERS - LOCATION WILL BE MARKED WITH THE MAIN STREET ADDRESS FOR EASY VIEWING FROM THE STREET LEVEL.
5.	UTILITY ROOMS AND ENCLOSURES - ALL EXTERIOR UTILITY ROOMS AND ENCLOSURES CONTAINING ELECTRICAL AND TELEPHONE EQUIPMENT SHALL BE KEPT LOCKED AT ALL TIMES.
6.	TRASH ENCLOSURES - EXTERIOR TRASH ENCLOSURES SHALL BE KEPT CLOSED AND LOCKED DURING NON-BUSINESS HOURS TO DISCOURAGE LOITERING, ILLEGAL DUMPING AND THEFT. TRASH ENCLOSURES WILL BE CONSTRUCTED TO HAVE OUTSIDE VISIBLY TO REDUCE THE POSSIBILITY OF CAMPING OR SLEEPING IN THE AREA. DECORATIVE SEE THROUGH FENCING AND DUSK TILL DAWN LIGHTING IS SUGGESTED.
7.	VIDEO SURVEILLANCE SYSTEM - WILL BE REQUIRED FOR A 360 DEGREE VIEW AROUND THE PARKING LEVEL/AREAS. ADDITIONALLY, VIDEO SURVEILLANCE WITH THE SAME BELOW LISTED PARAMETERS WILL BE REQUIRED FOR ALL ROOF DECK AREAS, AND AREAS ACCESSIBLE TO THE PUBLIC. THE VIDEO SURVEILLANCE FEED WILL BE MADE IMMEDIATELY AVAILABLE TO THE THOUSAND OAKS POLICE DEPARTMENT UPON REQUEST IN THE EVENT OF A MAJOR EMERGENCY OR INCIDENT. A PHONE NUMBER TO THE SECURITY COMPANY OR VIDEO SURVEILLANCE PROVIDER WILL BE PROVIDED TO THE THOUSAND OAKS POLICE DEPARTMENT UPON COMPLETION OF THE PROJECT. THE SURVEILLANCE SYSTEM WILL BE HD QUALITY, HAVE NIGHT VISION CAPABILITIES AND BE ABLE TO RETAIN VIDEO DATA FOR NO LESS THAN 30 DAYS. THE CAMERA SYSTEM SHOULD BE WEB BASED AND ACCESS INFORMATION PROVIDED TO VENTURA COUNTY SHERIFF'S DISPATCH (ARTIC) FOR USE IN EMERGENCY SITUATIONS.
8.	ROOF ACCESS - ROOF ACCESS MUST BE SECURED WITH LOCKING DOORS OR ANY OTHER MECHANISM TO RESTRICT ACCESS FOR NON-PUBLIC AREAS. ROOF ACCESS TO PUBLIC AREAS WILL BE CONTROLLED AT THE DISCRETION OF THE DEVELOPER BUT SHALL BE LOCKED OR SECURED IN A MECHANICAL FASHION AFTER HOURS.
9.	ENTRY POINT / FENCE & GATE - TO MINIMIZE UNAUTHORIZED PEDESTRIAN ENTRY AFTER HOURS, A FENCE AND GATE SHALL BE PLACED ALONG THE SOUTHEAST VEHICLE/PEDESTRIAN ENTRY AREA. THE FENCE AND GATE SHALL BE CONSTRUCTED TO ALLOW TRANSPARENCY TO EMERGENCY PERSONNEL AT STREET LEVEL (DECORATIVE METAL FENCING IS SUGGESTED). THE LOCATION WILL HAVE EMERGENCY ACCESS TO THE GATE VIA A "KNOX BOX" OR SIMILAR SECURITY DEVICE. FENCING SHALL BE CONSTRUCTED (OR MAINTAINED EXISTING) AROUND THE PERIMETER OF THE PROPERTY AND WILL BE CONSTRUCTED TO ALLOW OUTSIDE VISIBILITY (SUCH AS DECORATIVE METAL).
10.	VEHICLE SAFETY - BOLLARDS, BARRICADES, OR OTHER SUFFICIENT PROTECTION TO STOP A VEHICLE IS REQUIRED ALONG THE NORTHWEST PORTION OF THE PROPERTY TO PREVENT A VEHICLE WHICH HAS LEFT THE ROADWAY FROM BEING ABLE TO ENTER THE PROPERTY FROM THE ROADWAY ABOVE. PLANS SHALL DETAILING THE VEHICLE SAFETY BARRIERS SHALL BE SUBMITTED TO THE THOUSAND OAKS POLICE DEPARTMENT'S COMMUNITY RESOURCE UNIT FOR REVIEW AND APPROVAL. FENCING FROM CALTRANS ALONG THE FRONTAGE OF US 101 SHALL NOT BE DIMINISHED.
11.	SIGNS - ANY SIGNS DISPLAYED MUST BE FAR ENOUGH BACK FROM THE STREET AS TO NOT IMPEDER VISIBILITY TO TRAFFIC. THE STREET ADDRESS SHALL BE PROMINENTLY DISPLAYED ON THE SIGN TO ASSIST FIRST RESPONDERS WITH IDENTIFYING THE FACILITY. SIGN MOUNTED ADDRESS SHALL BE NO LESS THAN 5 INCHES IN HEIGHT. WILL BE OF A HIGHLY CONTRASTING COLOR TO THE BACKGROUND ON WHICH THEY ARE ATTACHED, AND SHALL BE ILLUMINATED FROM DUSK TO DAWN BY A PERMANENT, DEDICATED LIGHT SOURCE. SIGNS OF THE LOCATION WILL BE PLACED AT ALL VEHICULAR AND PEDESTRIAN ENTRANCES.
12.	MAINTENANCE - ANY AND ALL GRAFFITI, ETCHINGS, UNAUTHORIZED WRITING/PAINTING/ART SHALL BE REMOVED/ABATED AS SOON AS PRACTICABLE, NOT TO EXCEED 72 HOURS, ALLOWING TIME FOR POLICE REPORTING IF DESIRED BY LOCATION MANAGEMENT.
13.	NOISE & MUSIC - NO AMPLIFIED MUSIC/ANNOUNCEMENTS SHALL BE ALLOWED BETWEEN THE HOURS OF 11 PM AND 9 AM.

POLICE DEPARTMENT NOTES (CONT)	
ESTABLISHMENT SERVING ALCOHOL	
1.	SALES, SERVICE AND CONSUMPTION OF ALCOHOLIC BEVERAGES SHALL BE PERMITTED ONLY BETWEEN THE HOURS OF 9:00 AM AND 1:30 AM EACH DAY OF THE WEEK.
2.	ENTERTAINMENT PROVIDED SHALL NOT BE AUDIBLE BEYOND THE AREA UNDER CONTROL OF THE LICENSEE(S).
3.	THE QUARTERLY GROSS SALES OF ALCOHOLIC BEVERAGES SHALL NOT EXCEED THE GROSS SALES OF FOOD DURING THE SAME PERIOD. THE LICENSEE SHALL AT ALL TIMES MAINTAIN RECORDS WHICH REFLECT SEPARATELY THE GROSS SALE OF FOOD AND THE GROSS SALES OF ALCOHOLIC BEVERAGES OF THE LICENSED BUSINESS. SAID RECORDS SHALL BE KEPT NO LESS FREQUENTLY THAN ON A QUARTERLY BASIS AND SHALL BE MADE AVAILABLE TO THE DEPARTMENT ON DEMAND.
4.	FULL MEAL SERVICE SHALL BE AVAILABLE TO PATRONS AT ALL TIMES ALCOHOLIC BEVERAGE SALE PRIVILEGES ARE BEING EXERCISED.
5.	THE SALE OF ALCOHOLIC BEVERAGES FOR CONSUMPTION OFF THE PREMISES IS PROHIBITED.
6.	NO ALCOHOLIC BEVERAGES SHALL BE CONSUMED ON ANY PROPERTY ADJACENT TO THE LICENSED PREMISES UNDER THE CONTROL OF THE LICENSEE(S).
7.	LOITERING IS PROHIBITED ON THESE PREMISES OR THIS AREA UNDER THE CONTROL OF THE LICENSEE(S).
8.	THE PETITIONER(S) SHALL BE RESPONSIBLE FOR MAINTAINING FREE OF LITTER THE AREA ADJACENT TO THE PREMISES OVER WHICH THEY HAVE CONTROL.
EMPLOYEE TRAINING - EMPLOYEES INVOLVED IN THE SALE OR SERVICE OF ALCOHOLIC BEVERAGES SHALL PROVIDE EVIDENCE THAT THEY HAVE EITHER:	
A.	COMPLETED TRAINING GIVEN BY THE STATE OF CALIFORNIA DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL (ABC), SANTA BARBARA DISTRICT OFFICE ADMINISTERED LEADERSHIP AND EDUCATION IN ALCOHOL AND DRUGS' (LEAD) PROGRAM IN THE FORM OF AN ABC ISSUED CERTIFICATE; OR,
B.	HAVE COMPLETED AN ACCEPTED EQUIVALENT BY THE ABC, SANTA BARBARA DISTRICT OFFICE TO ENSURE PROPER DISTRIBUTION OF BEER, WINE AND DISTILLED SPIRITS TO ADULTS OF LEGAL AGE. IF ANY PROSPECTIVE EMPLOYEE DESIGNATED TO SELL ALCOHOLIC BEVERAGES DOES NOT CURRENTLY HAVE SUCH TRAINING, THEN,
C.	THE ABC LICENSED PROPRIETORS SHALL CONFIRM WITH THE POLICE DEPARTMENT'S COMMUNITY RESOURCE UNIT, WITHIN 30 DAYS OF THE PLANNING COMMISSION'S ENTITLEMENT APPROVAL, THAT A DATE CERTAIN HAS BEEN SCHEDULED WITH THE LOCAL ABC OFFICE TO COMPLETE THE LEAD COURSE.
IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT AND/OR THE RESTAURANT MANAGEMENT STAFF TO PROVIDE THE EMPLOYEES WITH THE KNOWLEDGE AND SKILLS THAT WILL ENABLE THEM TO COMPLY WITH THEIR RESPONSIBILITIES UNDER STATE AND CITY LAWS AND ORDINANCES.	
OTHER SECURITY CONCERNS - THE BUSINESS WILL CORRECT ANY SAFETY OR SECURITY CONCERNS UPON WRITTEN NOTICE BY THE THOUSAND OAKS POLICE DEPARTMENT.	
FIRE DEPARTMENT NOTES	
1.	GATES ACROSS FIRE DEPARTMENT ACCESS MUST COMPLY WITH VCFD STANDARD 501 CHAPTER 9. PROVIDE GATE DETAILS DEMONSTRATING AN AUTOMATIC EXIT LOOP WITHOUT THE NEED FOR A KEY, REMOTE, OR OTHER DEVICE TO EGRESS, SHOW KNOX DEVICE FOR FIRE DEPARTMENT ENTRY, PROVIDE GATE CLEAR WIDTH, ETC.
2.	FIRE SPRINKLERS WILL BE REQUIRED PER VCFD ORDINANCE IN ALL STRUCTURES INCLUSIVE OF REFURBISHED SHIPPING CONTAINERS USED FOR ASSEMBLY PURPOSES OR STORAGE.

GENERAL NOTES	
1.	BEFORE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR TO OBTAIN ALL CLEARANCES OF THE BUILDING PERMIT THAT ARE REQUIRED AND APPLICABLE, INCLUDING THE ONES FOR DEMOLITION AND DEBRIS REMOVAL FROM THE SITE.
2.	ALL WORK TO BE PERFORMED UNDER THE APPLICATION AND PERMIT SHALL COMPLY WITH THE APPLICABLE CODES AS LISTED ON DRAWING G-0.1 FROM THIS SET OF DOCUMENTS.
3.	NEW PENETRATIONS THROUGH FIRE-RESISTANT RATED PARTITIONS AND FLOORS SHALL BE PROTECTED IN COMPLIANCE WITH CBC SECTION 701.
4.	FIRE-RESISTANT RATED PARTITIONS SHALL EXTEND UP TO AND BE SECURED TO THE UNDERSIDE OF THE FLOOR STRUCTURE ABOVE. RATED PARTITION ASSEMBLIES TO CONFORM WITH ESTABLISHED UNDERWRITERS LABORATORIES STANDARDS.
5.	ALL DOORS AND FRAMES IN FIRE-RESISTANT RATED FIRE ENCLOSURES, FIRE/SMOKE DIVISIONS AND FREE SEPARATIONS SHALL BE SELF-CLOSING, SELF-LATCHING, FIRE RATED SWING DOORS BEARING THE UNDERWRITERS LABORATORIES LABEL.
6.	CONSTRUCTION OF HUNG CEILING SHALL COMPLY WITH CBC SECTION 808.
7.	SUSPENDED CEILING SYSTEM SHALL CONSIST OF SUPPORTING RUNNERS, CARRYING CHANNELS AND A SUPPORTING GRID AND SHALL COMPLY WITH SECTION 803 FOR CLASSIFICATION IN NON-COMBUSTIBLE CONSTRUCTION.
8.	EXIT SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH CBC SECTION 1013. AT ALL TIMES ILLUMINATED EXIT SIGNS SHALL BE LOCATED AT ALL EXITS, STAIRS AND EXIT PASSAGEWAYS. SUPPLEMENTAL DIRECTIONAL SIGNS SHALL BE INSTALLED WITHIN LARGE SPACES OR SPACES WITH OBSTRUCTED VIEWS IN ACCORDANCE WITH CBC SECTION 1007.
9.	EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT CANDLES. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ELECTRICAL CODE.
10.	INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702, AND THE APPLICABLE CODES.
11.	INTERIOR FINISHES SHALL COMPLY WITH CBC CHAPTER 8 AND SHALL BE INSTALLED IN ACCORDANCE WITH CBC SECTIONS 803, 804, 805, 807 AND TABLE 803.9.
12.	FLOOR FINISHES SHALL COMPLY WITH SECTION 801.
13.	THE CONTRACTOR IS RESPONSIBLE FOR FILING AND SECURING ALL REQUIRED PERMITS.
14.	SPECIAL INSPECTIONS, WHERE REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH CBC SECTIONS 1701, 1703, 1704.

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NOT FOR CONSTRUCTION

ISSUES / REVISIONS

DATE	DESCRIPTION
2023-01-26	IN PROGRESS, PLANNING
2023-03-02	IN PROGRESS, B & S
2023-05-31	APPLICATION MM & SUP

DRAWING TITLE AND NUMBER
ABBREVIATIONS / NOTES / CUT SHEET

G-1.1

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2024-06-04_MINOR MODIFICATION AND SUP APPLICATION_REVISD

GENERAL NOTES FOR COMMERCIAL ACCESSIBILITY

THE STATE OF CALIFORNIA DELEGATES AUTHORITY TO THE LOCAL JURISDICTION TO ENSURE COMPLIANCE WITH TITLE 24, PART 2 OF THE CALIFORNIA CODE OF REGULATIONS. THE FOLLOWING GENERAL NOTES INDICATE SPECIFIC AREAS OF TITLE 24, PART 2 WHICH ARE APPLICABLE TO YOUR PROJECT. PLEASE BE AWARE THAT THE OWNERS OF THE BUILDING AND HIGHWAY CONSULTANTS ARE RESPONSIBLE FOR THE MOST CURRENT FEDERAL REGULATIONS. REGULATIONS CONTAINED IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND FAIR HOUSING ACT (FHA), WHERE THE ADA AND FHA REQUIREMENTS EXCEED THOSE CONTAINED IN TITLE 24, PART 2, IT IS THE RESPONSIBILITY OF THE PROJECT OWNERS AND ARCHITECTS TO ENSURE COMPLIANCE WITH THE MOST CURRENT ADA AND FHA REGULATIONS.

THE FOLLOWING, APPLICABLE, GENERAL NOTES SHALL BE PROVIDED ON THE PLANS.

- A. APPLICATION AND ADMINISTRATION
1. PUBLIC ACCOMMODATIONS SHALL MAINTAIN IN OPERABLE WORKING CONDITION THOSE FEATURES OF FACILITIES AND EQUIPMENT THAT ARE REQUIRED TO BE ACCESSIBLE TO AND USEABLE BY PERSONS WITH DISABILITIES. ISOLATED OR TEMPORARY INTERRUPTIONS IN SERVICE OR ACCESSIBILITY DUE TO MAINTENANCE OR REPAIRS SHALL BE PERMITTED. 118-108
2. BUILDING FLOORS, FLOOR OR GROUND SURFACES, STAIRS, FIRMS, AND SLIP RESISTANT. 118-302.1
A. CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL, TEXTURED RUBBER LEVEL CUT PILE OR LEVEL CUT/NO CUT PILE TEXTURE. PILE HEIGHT SHALL BE 1/2 INCH MAXIMUM. 118-302.2
FIGURE 118-302.2
CHANGES IN LEVEL

- 3. VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. 118-303.0
FIGURE 118-303.0
4. CHANGES IN LEVEL GREATER THAN 1/2 INCH IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH THE REQUIREMENTS OF 118-405 RAMP OR 118-406 CURB RAMP AS APPLICABLE. 118-303.1
5. ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN A SINGLE DIMENSION BETWEEN WALLS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY MARKERS AT 6 INCHES MINIMUM IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE OR BY GUARDS OR HANDRAILS WITH A GUIDE RAIL CENTERED 2 INCHES MINIMUM AND 4 INCHES MAXIMUM ABOVE THE SURFACE OF THE WALK OR SIDEWALK. THESE REQUIREMENTS DO NOT APPLY BETWEEN A WALK OR SIDEWALK AND AN ADJACENT DRIVEWAY. 118-303.5
TURNING SPACE

- 6. CIRCULAR TURNING SPACES SHALL BE A SPACE OF 60 INCHES DIAMETER MINIMUM AND MAY INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 118-306 KNEE AND TOE CLEARANCE. 118-304.1
7. T-SHAPED TURNING SPACES SHALL BE A T-SHAPED SPACE WITHIN A 60 INCH SQUARE AREA. THE CLEARANCE SHALL BE 60 INCHES MINIMUM. EACH FORM OF THE CLEARANCE OR OBSTRUCTIONS 12 INCHES MINIMUM IN EACH DIRECTION AND THE BASE SHALL BE CLEAR OF OBSTRUCTIONS 24 INCHES MINIMUM. 118-304.2
FIGURE 118-304.2

- KNEE AND TOE CLEARANCE
8. FOR LAVATORIES AND BUILT-IN DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE, KNEE CLEARANCE SHALL BE PROVIDED THAT IS 30 INCHES IN WIDTH AND 9 INCHES IN HEIGHT ABOVE THE FINISH FLOOR OR GROUND TO A DEPTH OF 19 INCHES MINIMUM. 118-306.2
9. TOE CLEARANCE SHALL EXTEND 19 INCHES MAXIMUM UNDER LAVATORIES FOR TOILET AND BATHING FACILITIES AND 25 INCHES MAXIMUM UNDER OTHER ELEMENTS. 118-306.2
10. AT LAVATORIES IN TOILET AND BATHING FACILITIES, KNEE CLEARANCE SHALL BE PROVIDED THAT IS 30 INCHES IN HEIGHT FOR A DEPTH OF 11 INCHES AT 9 INCHES ABOVE THE FINISH FLOOR OR GROUND AND FOR A DEPTH OF 8 INCHES AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND. INCREASING TO 20 INCHES HIGH MAXIMUM ABOVE THE FINISH FLOOR OR GROUND AT THE FRONT EDGE OF A COUNTER WITH A BUILT-IN LAVATORY OR AT THE FRONT EDGE OF A WALL-MOUNTED LAVATORY FIXTURE. 118-306.3
FIGURE 118-306.3
11. AT DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE, KNEE CLEARANCE SHALL BE PROVIDED THAT IS 30 INCHES IN WIDTH AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND FOR A DEPTH OF AT LEAST 19 INCHES. 118-306.3

- PROVIDING OBJECTS
12. EXCEPT FOR HANDRAILS, OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES AND LESS THAN 48 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL BE PROVIDED MORE THAN 4 INCHES HORIZONTALLY INTO THE CIRCULATION PATH. HANDRAILS MAY PROTRUDE 4 1/2 INCHES MAXIMUM. 118-307.2
FIGURE 118-307.2
13. FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG CIRCULATION PATHS NO MORE THAN 12 INCHES WHEN LOCATED FROM 27 TO 80 INCHES ABOVE THE FINISH FLOOR OR GROUND. 118-307.3
FIGURE 118-307.3(A)
14. FREESTANDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES. 118-307.5

- 15. LOWEST EDGE OF A SIGN OR OTHER OBSTRUCTION, WHEN MOUNTED BETWEEN POSTS OR PYLONS SEPARATED WITH A CLEAR DISTANCE GREATER THAN 12 INCHES, SHALL BE LESS THAN 27 INCHES OR MORE THAN 80 INCHES ABOVE THE FINISH FLOOR OR GROUND. 118-307.3
FIGURE 118-307.3(B)
16. VERTICAL CLEARANCE SHALL BE AT LEAST 80 INCHES HIGH ON CIRCULATION PATHS EXCEPT AT DOOR CLOSERS AND DOOR STOPS, WHICH MAY BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-307.4
17. GUARDRAILS OR OTHER BARRIERS WITH A LEADING EDGE LOCATED 27 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE ON CIRCULATION PATHS IS LESS THAN 80 INCHES HIGH. 118-307.4
FIGURE 118-307.4
18. WHERE A GUY SUPPORT IS USED WITH EITHER THE WIDTH OF A CIRCULATION PATH OR 24 INCHES MAXIMUM OUTSIDE OF A CIRCULATION PATH, A VERTICAL GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT A HAZARD OR AN OVERHEAD OBSTRUCTION. 118-307.4
FIGURE 118-307.4
REACH RANGES

- 19. ELECTRICAL CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE AND APPLIANCE OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED WITH ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX. 118-308.1
20. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED WITH ALLOWABLE REACH RANGES. LOW REACH AND HIGH REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX. 118-308.2
21. HIGH FORWARD REACH THAT IS UNOBSTRUCTED SHALL BE 48 INCHES MAXIMUM AND THE LOW FORWARD REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-308.2
FIGURE 118-308.2
22. HIGH FORWARD REACH SHALL BE 48 INCHES MAXIMUM WHERE THE REACH DEPTH IS 20 INCHES OR LESS AND THE LOW FORWARD REACH SHALL BE 15 INCHES MINIMUM WHERE THE REACH DEPTH IS 20 INCHES OR LESS. FORWARD REACH SHALL NOT EXCEED 25 INCHES IN DEPTH. 118-308.2
FIGURE 118-308.2
23. HIGH SIDE REACH SHALL BE 48 INCHES MAXIMUM AND THE LOW SIDE REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. FORWARD REACH SHALL NOT EXCEED 25 INCHES IN DEPTH OF ANY OBSTRUCTION DOES NOT EXCEED 10 INCHES. 118-308.3
FIGURE 118-308.3
24. HIGH SIDE REACH SHALL BE 48 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND WHERE THE REACH DEPTH IS 20 INCHES OR LESS AND THE LOW SIDE REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND WHERE THE REACH DEPTH IS 20 INCHES OR LESS. FORWARD REACH SHALL NOT EXCEED 25 INCHES IN DEPTH. 118-308.3
FIGURE 118-308.3

- 25. OBSTRUCTIONS FOR HIGH SIDE REACH SHALL NOT EXCEED 34 INCHES IN HEIGHT AND 24 INCHES IN DEPTH. 118-308.3
FIGURE 118-308.3
26. OBSTRUCTED HIGH SIDE REACH FOR THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR. 118-308.3
27. OBSTRUCTED HIGH SIDE REACH FOR OPERATING SURFACES SHALL BE PERMITTED TO BE 54 INCHES MAXIMUM MEASURED FROM THE SURFACE OF THE VEHICULAR WAY WHERE FUEL DISPENSERS ARE INSTALLED ON EXISTING CURBS. 118-308.3.2

- OPERABLE PARTS
28. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM. 118-309.1
C. ACCESSIBLE ROUTES
DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE
1. DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE FS 35358 OF FEDERAL STANDARD 595C. 118-705.1
2. DETECTABLE WARNING SURFACES SHALL PROVIDE A 70 PERCENT MINIMUM VISUAL CONTRAST WITH ADJACENT WALKING SURFACES. CONTRAST IN PERCENT SHALL BE DETERMINED BY CONTRAST PERCENT = ((B1-B2)/(B1+B2)) X 100. WHERE B1 IS THE REFLECTANCE VALUE (RV) OF THE LIGHTER AREA AND B2 = LIGHT REFLECTANCE VALUE (RV) OF THE DARKER AREA. 118-705.1.1.3.2 (SEE EXCEPTION)
DOORS, DOORWAYS, AND GATES
3. DOORS, DOORWAYS, AND GATES PROVIDING USER PASSAGE SHALL BE PROVIDED IN ACCORDANCE WITH 118-206.8 DOORS, DOORWAYS, AND GATES. 118-206.8
DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH 118-404 DOORS, DOORWAYS, AND GATES. 118-404.1
5. DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24 INCHES DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITH LOWER THAN 34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WITH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES. 118-404.2.3
6. SWINGING DOORS AND GATES SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 118-404.2.1.1. 118-404.2.1
7. DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS, OR FOLDING DOORS SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 118-404.2.2.2. 118-404.2.2
8. MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY OBSTRUCTION WITHIN 18 INCHES OF THE FACE OF AN INTERIOR DOORWAY, OR WITHIN 24 INCHES OF THE LATCH EDGE OF AN EXTERIOR DOORWAY, PROJECTS MORE THAN 8 INCHES ABOVE THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR OR GATE. 118-404.2.4
9. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH 118-302 FLOOR OR GROUND SURFACES AND 118-303 CHANGES IN LEVEL. 118-404.2
10. HANDLES, KNOBS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 118-309.4 OPERATION. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. WHERE RAISED OR BLIND OPERABLE PARTS ARE PROVIDED, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. 118-404.2.1.1
11. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS. 118-404.2
A. INTERIOR HINGED DOORS AND GATES: 5 POUNDS MAXIMUM
B. SLIDING OR FOLDING DOORS: 5 POUNDS MAXIMUM
C. REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.
D. EXTERIOR HINGED DOORS: 5 POUNDS MAXIMUM

- 12. SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAIPPED. 118-404.2.10

- RAMPS
13. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 (8.33%). 118-405.2
CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48 (2.083%). 118-405.3
14. FLOOR OR GROUND SURFACES OF RAMP RUNS SHALL COMPLY WITH 118-302 FLOOR OR GROUND SURFACES. CHANGES IN LEVEL OTHER THAN THE RUNNING SLOPE AND CROSS SLOPE ARE NOT PERMITTED. 118-405.2
15. THE CLEAR WIDTH OF A RAMP RUN SHALL BE 48 INCHES MINIMUM. 118-405.5
16. THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXIMUM. 118-405.6
RAMPS SHALL HAVE LANDINGS AT THE TOP AND THE BOTTOM OF EACH RAMP RUN. 118-405.7
17. LANDINGS SHALL COMPLY WITH 118-302 FLOOR OR GROUND SURFACES. CHANGES IN LEVEL ARE NOT PERMITTED. 118-405.7
18. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. 118-405.7.2
19. TOP LANDINGS SHALL BE 60 INCHES LONG. 118-405.7.2.1
20. THE LANDING CLEAR LENGTH SHALL BE 60 INCHES LONG. 118-405.7.3
21. TOP LANDINGS SHALL EXTEND 72 INCHES MINIMUM IN THE DIRECTION OF RAMP RUN. 118-405.7.3.1
22. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING 60 INCHES MINIMUM BY 72 INCHES MINIMUM IN THE DIRECTION OF DOWNWARD TRAVEL FROM THE UPPER RAMP RUN. 118-405.7.4
23. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY 118-404.2.4 AND 118-404.3.2 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. DOORS, WHEN FULLY OPEN, SHALL NOT REDUCE THE REQUIRED RAMP LANDING WIDTH BY MORE THAN 3 INCHES. DOORS, IN ANY POSITION, SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN 42 INCHES. 118-405.7.5
24. RAMP RUNS SHALL HAVE COMPLIANT HANDRAILS PER 118-505 HANDRAILS. 118-405.8
25. EDGE PROTECTION COMPLYING WITH 118-405.9.2 CURB OR BARRIER SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND AT EACH SIDE OF RAMP LANDINGS. 118-405.9 (SEE EXCEPTIONS)
26. A CURB OR BARRIER SHALL BE PROVIDED THAT PREVENTS THE PASSAGE OF A 4 INCH DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 INCHES OF THE FINISH FLOOR OR GROUND SURFACE. TO PREVENT WHEEL ENTRAPMENT, THE CURB OR BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER ALONG THE LENGTH OF THE RAMP. 118-405.9.2
27. LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. 118-405.10

- HANDRAILS
30. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS. 118-505.2
31. HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. EXCEPT FOR HANDRAILS ON SWITCHING STAIRS AND RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUNS. 118-505.3
32. TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34 INCHES MINIMUM AND 38 INCHES MAXIMUM VERTICALLY ABOVE THE FINISH FLOOR OR GROUND. 118-505.4
33. WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES, HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. 118-505.5
34. CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1 1/2 INCHES MINIMUM. HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS 3 INCHES MAXIMUM DEEP AND 18 INCHES MINIMUM CLEAR ABOVE THE TOP OF THE HANDRAIL. 118-505.5
35. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOP OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED BY MORE THAN 20 PERCENT OF THEIR LENGTH. WHERE PROVIDED, HORIZONTAL PROJECTIONS SHALL OCCUR 1/2 INCHES MINIMUM BELOW THE BOTTOM OF THE HANDRAIL GRIPPING SURFACE. 118-505.6
36. HANDRAIL GRIPPING SURFACES WITH A NON-CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES MINIMUM AND 2 INCHES MAXIMUM. 118-505.7
37. HANDRAIL GRIPPING SURFACES WITH A 9/16 INCH CIRCULAR CROSS SECTION SHALL HAVE A PERMITTED DIMENSION OF 4 INCHES MINIMUM AND 2 INCHES MAXIMUM, AND A CROSS-SECTION DIMENSION OF 2 1/4 INCHES MAXIMUM. 118-505.7.2
38. HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF RAMP FLIGHTS AND RAMP RUNS IN ACCORDANCE WITH SECTION 118-505.10 HANDRAIL EXTENSIONS. 118-505.10

- 39. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM. 118-505.10
40. HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEGINNING DIRECTLY ABOVE THE FIRST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE. OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. 118-505.10.3
41. AT THE BOTTOM OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE EQUAL TO ONE TREAD DEPTH BEFORE THE LAST RISER NOSING. EXTENSIONS BEYOND THE LAST RISER NOSING SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. 118-505.10.3
42. OPEN RISERS ARE NOT PERMITTED. 118-504.1.3 (SEE EXCEPTIONS)
STAIRWAYS
41. A STAIR IS DEFINED AS A CHANGE IN ELEVATION, CONSISTING OF ONE OR MORE RISERS. 118-502
42. ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE 4 INCHES MINIMUM AND 7 INCHES HIGH MAXIMUM. TREADS SHALL BE 11 INCHES DEEP MINIMUM. CURVED STAIRWAYS WITH WINDER TREADS ARE PERMITTED AT STAIRS WHICH ARE NOT PART OF A REQUIRED MEANS OF EGRESS. (SEE EXCEPTION) 118-504.2
43. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS REQUIREMENT. 118-504.4
44. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE 1/2 INCH MAXIMUM NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE TREAD AT AN ANGLE OF 30 DEGREES. RISERS SHALL BE PERMITTED TO SLOPE UPWARD AT AN ANGLE OF 15 DEGREES. 118-504.4
45. STAIR TREADS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 118-505 HANDRAILS. 118-504.6
47. STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. 118-504.10

- 48. FLOOR IDENTIFICATION SIGNS REQUIRED BY CHAPTER 10, SECTION 1022.9 COMPLYING WITH SECTION 118-703.1 SIGNS GENERAL, 118-703.2 RAISED CHARACTERS, 118-703.3 BRaille AND 118-703.5 OUTSIDE ACCESSIBLE ROUTE SIGNS SHALL BE PROVIDED AT THE END OF EACH STAIR FLIGHT AND AT THE BOTTOM OF THE STAIR ON THE LATCH SIDE, IN ALL ENCLOSED STAIRWAYS IN BUILDINGS TWO OR MORE STORES IN HEIGHT TO IDENTIFY THE FLOOR LEVEL, AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL BE 60 INCHES MINIMUM IN HEIGHT AND THE PERCENTAGE OF IDENTIFYING FLOOR LEVEL SHALL BE 100 PERCENT. THE DIAMETER OF THE STAR SHALL BE THE SAME AS THE HEIGHT OF THE RAISED CHARACTERS. 118-504.8

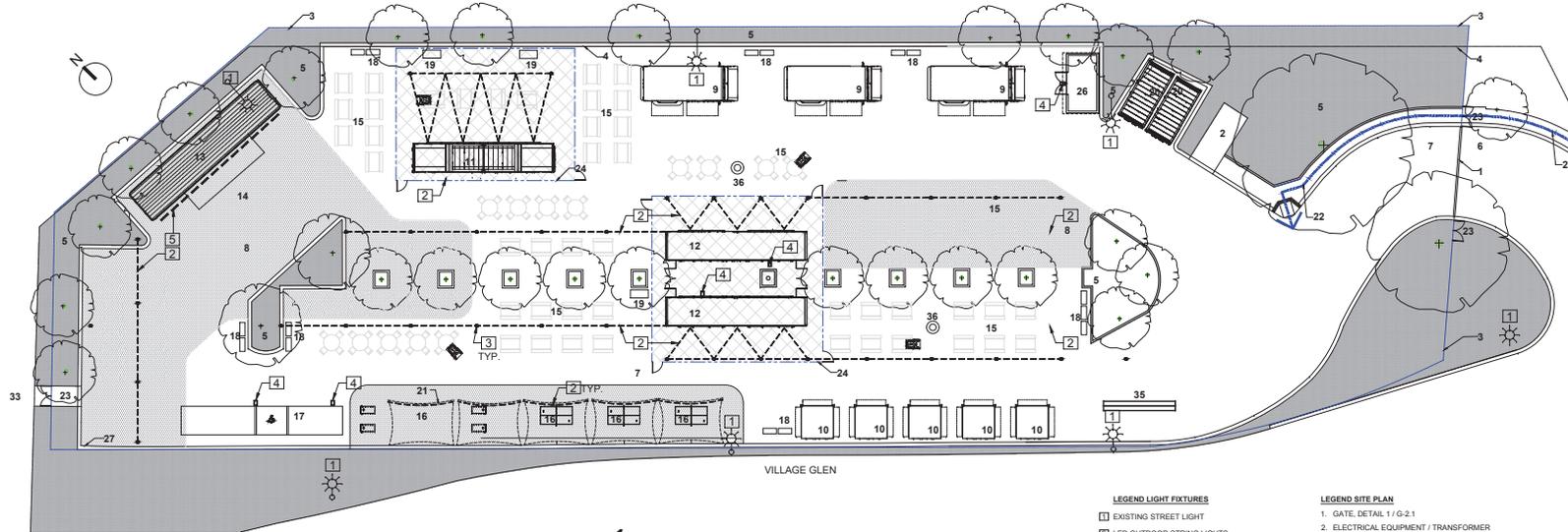
- CURB RAMPS, BLENDED TRANSITIONS AND ISLANDS
49. PERPENDICULAR RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 (8.33%). 118-406.2
50. FOR PERPENDICULAR RAMPS, WHERE PROVIDED, CURB RAMP FLARES SHALL NOT BE STEEPER THAN 1:10. 118-406.2
FIGURE 118-406.2
51. THE RUNNING SLOPE OF THE CURB RAMP SEGMENTS SHALL BE IN LINE WITH THE DIRECTION 2 OF SIDEWALK TRAVEL. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 (8.33%). 118-406.3
FIGURE 118-406.3
52. A TURNING SPACE 48 INCHES MINIMUM BY 48 INCHES MINIMUM SHALL BE PROVIDED AT THE BOTTOM OF THE CURB RAMP. THE SLOPE OF THE TURNING SPACE IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM (2.083%). 118-406.3.2
53. BLENDED TRANSITION RAMPS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:20 (5%). 118-406.4
54. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES, OR PARKING ACCESSIBLES. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES. 118-406.5.1
55. THE CLEAR WIDTH OF CURB RAMP RUNS (EXCLUDING ANY FLARED SIDES), BLENDED TRANSITIONS, AND TURNING SPACES SHALL BE 48 INCHES MINIMUM. 118-406.5.2
56. LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS AND BLENDED TRANSITIONS (PARALLEL CURB RAMPS SHALL NOT BE REQUIRED TO COMPLY). THE LANDING CLEAR LENGTH SHALL BE 48 INCHES MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING ANY FLARED SIDES, OR THE BLENDED TRANSITION LEADING TO THE LANDING. THE SLOPE OF THE RAMP SHALL NOT BE STEEPER THAN 1:12 (8.33%). 118-406.5.3
57. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS OR TURNING SPACES. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH. 118-406.5.6
58. THE CROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 (2.083%). 118-406.5.7
59. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO AND WITHIN 24 INCHES OF THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%). THE ADJACENT SURFACE AND THE ACCESSIBLE ROUTE SHALL BE PERMITTED TO OVERLAP. ISLANDS SHALL HAVE DETECTABLE WARNINGS COMPLYING WITH 118-703.5 VISUAL CHARACTERS, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOM WITHIN THE FACILITY SHALL BE PROVIDED. 118-406.5.8
60. THE BOTTOM OF DIAGONAL CURB RAMPS SHALL HAVE A CLEAR SPACE 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-406.5.9
61. CURB RAMPS AND BLENDED TRANSITIONS SHALL HAVE DETECTABLE WARNINGS COMPLYING WITH 118-703.5 DETECTABLE WARNINGS. 118-406.5.12
62. RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES. THE CLEAR WIDTH OF THE ACCESSIBLE ROUTE AT ISLANDS SHALL BE 60 INCHES WIDE MINIMUM, WHERE CURB RAMPS ARE PROVIDED, THEY SHALL COMPLY WITH 118-406 CURB RAMPS. BLENDED TRANSITIONS AND ISLANDS, LANDINGS COMPLYING WITH 118-406.5.3 AND 118-406.5.6. THE CLEAR WIDTH OF THE ACCESSIBLE ROUTE SHALL BE PERMITTED TO OVERLAP. ISLANDS SHALL HAVE DETECTABLE WARNINGS COMPLYING WITH 118-703.5 DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE. 118-406.6
FIGURE 118-406.6

- D. GENERAL SITE AND BUILDING ELEMENTS
1. WHERE PARKING SPACES ARE PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED WITHIN THE PARKING AREA. 118-506.1
2. WHERE PARKING LOADING ZONES, DROP-OFF ZONES, AND/OR BUS STOPS ARE PROVIDED, ACCESSIBLE PASSENGER LOADING ZONES, DROP-OFF ZONES, AND/OR BUS STOPS ARE REQUIRED. 118-506.2
3. WHERE PASSENGER LOADING ZONES, DROP-OFF ZONES, AND/OR BUS STOPS ARE PROVIDED, THEY SHALL COMPLY WITH SECTION 118-812 AS REQUIRED BY SECTION 118-228.3.
4. EVCS COMPLYING WITH SECTION 118-812 THAT SERVE A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED IN A RECESS OR POSITIONED FOR A FORWARD APPROACH AND CENTERED ON THE DRIVE. EVCS DO NOT SERVE A PARTICULAR BUILDING OR FACILITY. EVCS COMPLYING WITH SECTION 118-812 SHALL BE LOCATED ON AN ACCESSIBLE ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE TO THE CHARGING FACILITY. 118-506.3
E. PLUMBING FIXTURES AND FACILITIES
DRINKING FOUNTAINS
43. DRINKING FOUNTAINS SHALL COMPLY WITH SECTIONS 118-307 PROTRUDING OBJECTS AND 118-602 GENERAL REQUIREMENTS. 118-602.1
2. UNITS SHALL HAVE A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH SECTION 118-305 CLEARANCE AND 118-306 TURNING SPACE FOR A FORWARD APPROACH AND CENTERED ON THE UNIT. KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 118-306 KNEE AND TOE CLEARANCE SHALL BE PROVIDED. 118-602.2
44. SPOUT SHALL BE LOCATED 15 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-602.4
45. THE SPOUT SHALL BE LOCATED 15 INCHES MINIMUM FROM THE VERTICAL SUPPORT AND 5 INCHES MINIMUM FROM THE FRONT OF THE UNIT, INCLUDING BUMPERS. 118-602.5
5. THE SPOUT SHALL PROVIDE A FLOW OF WATER 4 INCHES HIGH MINIMUM AND SHALL BE LOCATED AT LEAST 30 INCHES FROM THE FRONT OF THE UNIT. THE ANGLE OF THE WATER STREAM SHALL BE MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT. WHERE SPOUTS ARE LOCATED LESS THAN 3 INCHES FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT. THE ANGLE OF THE WATER STREAM SHALL BE 15 DEGREES MAXIMUM. 118-602.6

- 6. SPOUT OUTLETS OF DRINKING FOUNTAINS FOR STANDING PERSONS SHALL BE 38 INCHES MINIMUM AND 43 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-602.7
7. WALL AND POST-MOUNTED CANTILEVERED DRINKING FOUNTAINS SHALL BE 18 INCHES MINIMUM AND 19 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-602.8
8. ALL DRINKING FOUNTAINS SHALL EITHER BE LOCATED COMPLETELY WITHIN ALCOVES, POSITIONED COMPLETELY BETWEEN WING WALLS, OR OTHERWISE POSITIONED SO AS NOT TO ENCRUMB THE PROTECTED AREA OF AN ADJACENT STAIR FLIGHT. 118-602.9
9. LOCATED SHALL BE 32 INCHES WIDE MINIMUM AND 18 INCHES DEEP MINIMUM, AND SHALL COMPLY WITH SECTION 118-306.7 MANEUVERING CLEARANCE. WHEN USED, WING WALLS OR BARRIERS SHALL BE PERMITTED TO PROJECT INTO THE PROTECTED AREA AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 8 INCHES VERTICALLY FROM THE FLOOR OR GROUND SURFACE. 118-602.9

- TOILET AND BATHING ROOM CLEARANCES
9. DOORS TO UNISEX TOILET ROOMS AND UNISEX BATHING ROOMS SHALL HAVE PRIVACY LATCHES. 118-613.2.1
10. THE BOTTOM EDGE OF THE DOOR ABOVE THE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITHIN THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE THE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-603.3
11. COAT HOOKS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES SPECIFIED IN SECTION 118-306. SHELVES SHALL BE LOCATED 40 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-603.4
12. WHERE TOWEL OR SANITARY NAPKIN DISPENSERS, WASTE RECEPTACLES, OR OTHER ACCESSORIES ARE PROVIDED IN TOILET FACILITIES, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE. ALL OPERABLE PARTS, INCLUDING COIN SLOTS, SHALL BE 40 INCHES MAXIMUM ABOVE THE FINISH FLOOR. BABY CHANGING STATIONS ARE NOT REQUIRED TO COMPLY WITH SECTION 118-603.5 (SEE EXCEPTION) 118-603.5
WATER CLOSETS AND TOILET COMPARTMENTS
13. FLUSH CONTROLS SHALL BE PROVIDED OR AUTOMATIC HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH SECTION 118-309.4 OPERATION EXCEPT THEY SHALL BE LOCATED 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR. 118-604.3
14. WATER CLOSURES EXCEPT IN AMBULATORY ACCESSIBLE COMPARTMENTS COMPLYING WITH SECTION 118-604.8 AMBULATORY ACCESSIBLE COMPARTMENTS. 118-604.6
14. TOILET PAPER DISPENSERS SHALL COMPLY WITH SECTION 118-309.4 OPERATION AND SHALL BE 7 INCHES MINIMUM AND 48 INCHES MAXIMUM IN FRONT OF THE WATER CLOSURE MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET OF THE DISPENSER SHALL BE ABOVE THE GRAB BAR. 19 INCHES MINIMUM ABOVE THE FINISH FLOOR AND SHALL NOT BE LOCATED BEHIND THE GRAB BARS. 19 INCHES MINIMUM ABOVE THE FINISH FLOOR THAT CONTROL DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW. 118-604.7
15. SANITARY NAPKIN DISPOSAL UNITS, IF PROVIDED, SHALL COMPLY WITH SECTION 118-309.4 AND SHALL BE 48 INCHES MINIMUM ABOVE THE FINISH FLOOR. 118-604.8
16. THE TOILET PAPER DISPENSER, ADJACENT TO THE TOILET PAPER DISPENSER, THE DISPOSAL UNIT SHALL BE LOCATED BELOW THE GRAB BAR WITH THE OPENING OF THE DISPOSAL UNIT 19 INCHES MINIMUM ABOVE THE FINISH FLOOR. 118-604.8
17. URINALS SHALL BE THE STALL-TYPE OR THE WALL-TUNG TYPE WITH THE RIM 17 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. URINALS SHALL BE 13 1/2 INCHES DEEP MINIMUM MEASURED FROM THE OUTER FACE OF THE URINAL RIM TO THE CENTERLINE OF THE URINAL. 118-605.2
17. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH SECTION 118-309.4 OPERATION PARTS EXCEPT THAT THE FLUSH CONTROL SHALL BE MOUNTED AT A MAXIMUM HEIGHT OF 48 INCHES ABOVE THE FINISH FLOOR. 118-605.4
18. FOR LAVATORIES AND SINKS, A CLEAR FLOOR SPACE COMPLYING WITH SECTION 118-305 CLEAR FLOOR OR GROUND SURFACES, POSITIONED FOR A FORWARD APPROACH, AND KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 118-306 KNEE AND TOE CLEARANCE SHALL BE PROVIDED. 118-606.2
19. LAVATORIES AND SINKS SHALL BE INSTALLED WITH THE FRONT OF THE HIGHER OF THE RIM OR COUNTER SURFACE 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. 118-606.3

- SIGNS RELATED TO TOILETS AND BATHING FACILITIES
20. ENTRANCES LEADING TO TOILET ROOMS AND BATHING ROOMS COMPLYING WITH 118-603 TOILET AND BATHING ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL COMPLYING WITH 118-703.7.2.1 AND BATHING ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOM WITHIN THE FACILITY SHALL BE PROVIDED. 118-603.8
21. TOILET ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL AND BATHING ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
22. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
23. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
24. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
25. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
26. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
27. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
28. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
29. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
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31. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOMS SHALL BE PROVIDED. 118-603.8
32. TOILET ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 118-703.7.2.1. USA. UNLESS ALL TOILET ROOMS AND BATHING ROOMS COMPLY WITH 118-603 TOILET AND BATHING ROOMS, DIRECTIONAL SIGNS INDICATING



1_LIGHTING PLAN_SCALE: 1/16"=1'-0"

LEGEND LIGHT FIXTURES

- 1 EXISTING STREET LIGHT
- 2 LED OUTDOOR STRING LIGHTS
- 3 STRING LIGHTS POLE
- 4 LED EXTERIOR WALL ATTACHED LIGHT FIXTURE LIGMAN UTA 31861 CYLINDRICAL DOWNLIGHT OR EQUAL
- 5 STAGE LIGHTS

LEGEND SITE PLAN

- 1. GATE, DETAIL 1/G-2.1
- 2. ELECTRICAL EQUIPMENT / TRANSFORMER
- 3. FENCE, DETAIL 1/G-2.1
- 4. PROPERTY LINE
- 5. LANDSCAPED AREA
- 6. CONCRETE
- 7. EXISTING CONCRETE (ALT: DECOMPOSED GRANITE)
- 8. ARTIFICIAL TURF
- 9. FOOD TRUCK (TYP.)
- 10. VENDOR PROVIDED TEMPORARY POP-UP RETAIL KIOSKS (TYP.)
- 11. BAR 1, DETAIL 2/G-2.1
- 12. BAR 2, DETAIL 3/G-2.1 AND SK-1
- 13. STAGE (FLATBED TRUCK), DETAIL 5/G-2.1
- 14. STANDING / DANCING AREA
- 15. TABLES / BENCHES / DINING (TYP.)
- 16. OUTDOOR GAMES - CORNHOLE, PING-PONG.
- 17. RESTROOMS, G-2.2
- 18. TRASH / RECYCLING RECEPTACLES
- 19. TV MONITORS
- 20. STORAGE DETAIL 4/G-2.1
- 21. SAIL SHADE ABOVE
- 22. ACCESSIBLE ROUTE FROM PARKING
- 23. GATE DETAIL 1/G-2.1
- 24. FENCED AREA FOR ALCOHOL CONSUMPTION
- 25. PUBLIC WAY
- 26. WASTE ENCLOSURE DETAIL 6/G-2.1
- 27. EXISTING RETAINING WALL
- 28. UTILITY EASEMENT (10' WIDE)
- 29. SEWER EASEMENT (10' EASEMENT)
- 30. PROPOSED NEW UTILITY TRENCH
- 31. ACCESSIBLE PARKING STALLS
- 32. FIRE DEPARTMENT ACCESS GATE WITH KNOX VEICLE
- 33. FOOT PATH
- 34. CROSSWALK
- 35. BIKE RACK FOR 36 BIKES
- 36. FIRE PIT

PROJECT

THE DROP YARD

880 S WESTLAKE BLVD.
WESTLAKE VILLAGE, CA 91361

OWNER

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NOT FOR CONSTRUCTION

2024-06-04_MINOR MODIFICATION AND SUP APPLICATION_REVISD

UTA-31861
Tango 29 Cylindrical Downlight

microVos TECHNOLOGY

LIGMAN LIGHTING USA

Construction
Aluminum with 1/8" copper contact. Marine grade 6061 anodized & LME Aluminate. High precision die casting provides excellent mechanical strength & clean finished product lines and excellent heat dissipation.

Finish
Black. Anodized and die-cast provides that includes dovetail and striking as well as a die and mold injection process before product painting.

Memory Retention Silicon Gasket
Provided with special section molded "in" for superior long life high temperature memory retention silicon gasket. Maintains the gasket exact profile and seal over years of use and compression.

Thermal Management
LME Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the silicon gasket thermal barrier critical component ensure to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard. The surge suppressor provided with all fixtures.

Ball Balance
B1 - L01 - G2

Finishing
All Ligman products go through an extensive finishing process that includes testing to improve user confidence.

Parts
UV Coated 316L SSIP powder coat case. UV Coated 316L SSIP. This process ensures that Ligman products are corrosion resistant and are suitable for use in marine environments.

Hardware
Provided hardware is Marine grade 316.

Anti-Scale Screw Holes
Screw holes are filled with a special anti-scale compound designed to prevent encrustation of threaded connections, due to electrolysis from salt, corrosion, and moisture and.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensures no green tinting.

Optics & LED
Precision design provides exceptional light control and precise distribution of light. LED CRI > 90

Lumen Maintenance Life
LED B10 at 50,000 hours (This means that at least 90% of the LED will achieve 90% of their original flux)

Specifications
Product Length (ft.) 48 ft.

Product Length (ft.)	Indoor/Outdoor	Power Source	String Light Style
48 ft.	Indoor Outdoor	Plug-In	Edison
See Similar Items		See Similar Items	See Similar Items

Lighted Length (ft.)
44.28 ft.
See Similar Items

Space Between Bulbs (in.)
3.16
See Similar Items

Bulb Shape
A-Shape
See Similar Items

Dimensions
Product Length (ft.) 48 ft.

Details

Bulb Color	White	Bulb Shape	A-Shape
Compatible Bulb Type	LED	Durability	Weather Resistant
Exterior Lighting Product Type	String Light	Fixture Color/Finish	Black
Indoor/Outdoor	Indoor, Outdoor	Light Bulb Base Code	E27
Light Bulb Type Included	LED	Lighted Length (ft.)	44.28 ft.
Max. Bulb Wattage (W)	0-W	Number of Bulbs	15
Pack Size	1	Power Source	Plug-In
Product Weight (lb.)	4.23 lb.	Recommended Light Bulb Shape Code	E27
Adjustable	90-Deg	Space Between Bulbs (in.)	3.16
String Light Style	Edison	Wattage (w)	120w

Warranty / Certifications
Manufacturer Warranty 5-year

Specifications
Product Length (ft.) 48 ft.

Product Length (ft.)	Indoor/Outdoor	Power Source	String Light Style
48 ft.	Indoor Outdoor	Plug-In	Edison
See Similar Items		See Similar Items	See Similar Items

Lighted Length (ft.)
44.28 ft.
See Similar Items

Space Between Bulbs (in.)
3.16
See Similar Items

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A-Shape
See Similar Items

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Product Length (ft.) 48 ft.

Details

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Manufacturer Warranty 5-year



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2023-03-02	IN PROGRESS_B & S
2023-05-31	APPLICATION-MM & SUP

DRAWING TITLE AND NUMBER

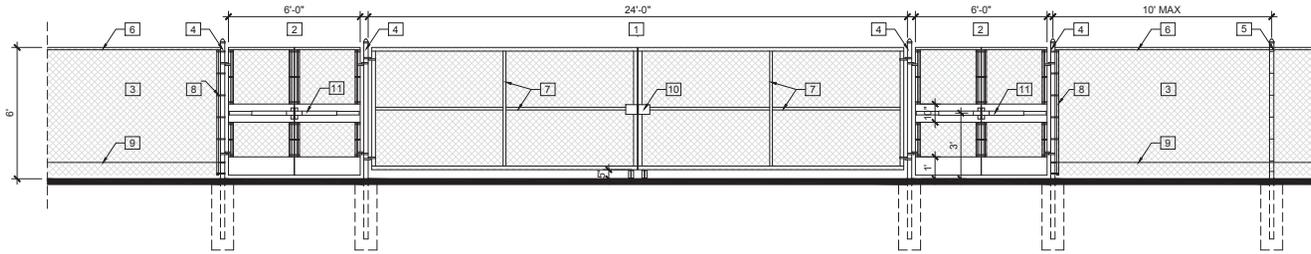
LIGHTING PLAN

A-0.3

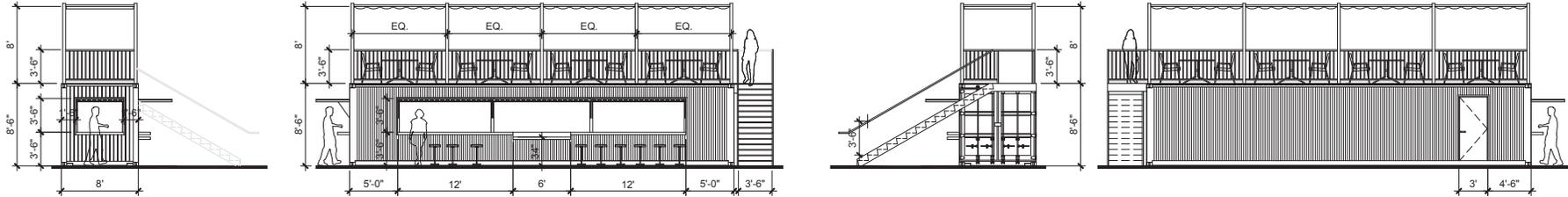
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LEGEND

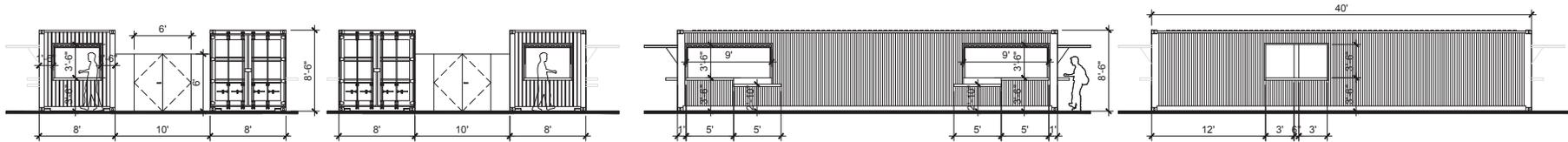
- 1 GATE
- 2 PEDESTRIAN GATE
- 3 CHAIN LINK MESH
- 4 END POST
- 5 LINE POST, MESH ATTACHED WITH TIES
- 6 TOP RAIL
- 7 BRACE RAIL
- 8 TENSION BAR WITH TENSION BAND
- 9 TENSION WIRE
- 10 GATE SECURED WITH KNOX DEVICE
- 11 PANIC HARDWARE



1_FENCE AND GATES SCALE: 3/8" = 1'-0"

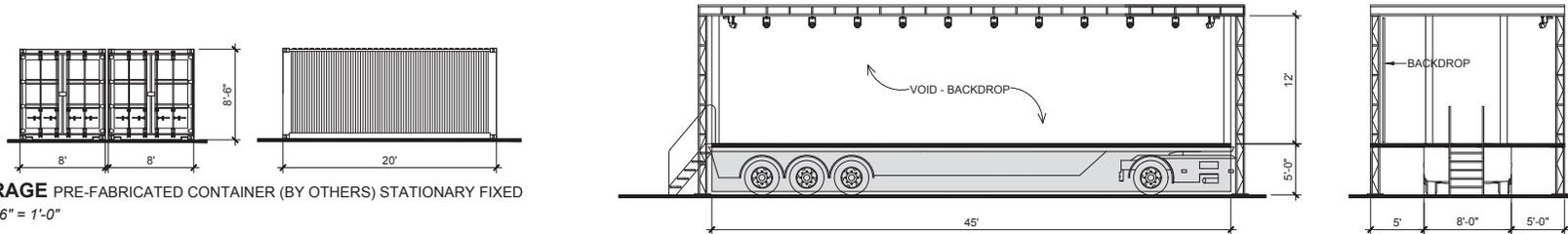


2_BAR 1 40' PRE-FABRICATED CONTAINER (BY OTHERS) STATIONARY FIXED AND ALL PLUMBING CONNECTED TO SITE UTILITIES SCALE: 3/16" = 1'-0"

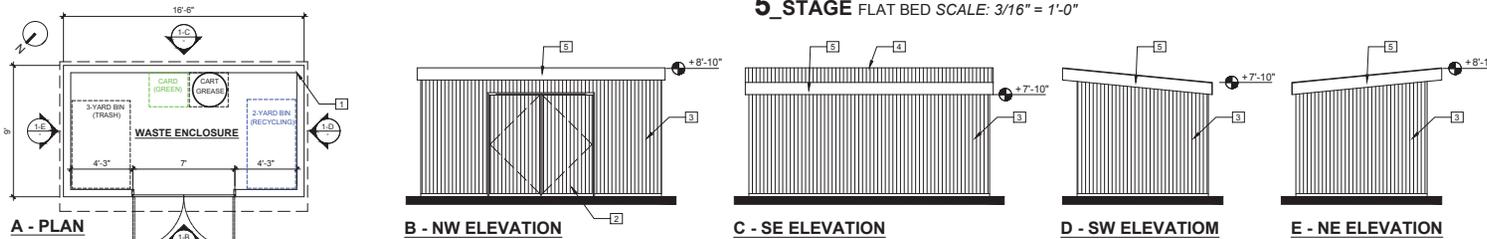


3_BAR 2 40' PRE-FABRICATED CONTAINER (BY OTHERS) STATIONARY FIXED AND ALL PLUMBING CONNECTED TO SITE UTILITIES SCALE: 3/16" = 1'-0"

4_STORAGE PRE-FABRICATED CONTAINER (BY OTHERS) STATIONARY FIXED SCALE: 3/16" = 1'-0"



5_STAGE FLAT BED SCALE: 3/16" = 1'-0"



6_WASTE ENCLOSURE SCALE: 1/4" = 1'-0"

PROJECT

THE DROP YARD

880 S WESTLAKE BLVD.
WESTLAKE VILLAGE, CA 91361

OWNER

TRUCK STOP HOLDINGS, LLC

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ONSITE STRUCTURES

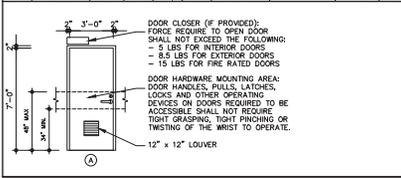
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2024-06-04_MINOR MODIFICATION AND SUP APPLICATION_REVISD

DOOR & WINDOW SCHEDULE

ITEM	LOCATION	SIZE			ELEV.	TYPE	MATERIAL	FRAME	DETAILS		HW	MANUFACTURER MODEL
		W	H	T					HEAD	JAMB		
1	MEN'S	3'-0"	7'-0"	1 3/4"	A	SWING	METAL	METAL	11/A-1	11/A-1	11/A-1	1
2	WOMEN'S	3'-0"	7'-0"	1 3/4"	A	SWING	METAL	METAL	11/A-1	11/A-1	11/A-1	2
3	UNISEX ADA	3'-0"	7'-0"	1 3/4"	A	SWING	METAL	METAL	11/A-1	11/A-1	11/A-1	3



DOOR HARDWARE

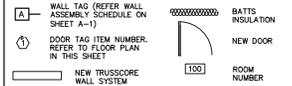
① - ENTRANCE LOCK

② EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (2018 IBC SECT. 10101.9)

③ ALL EGRESS DOOR TO BE SINGLE ACTION IN ORDER TO EGRESS.

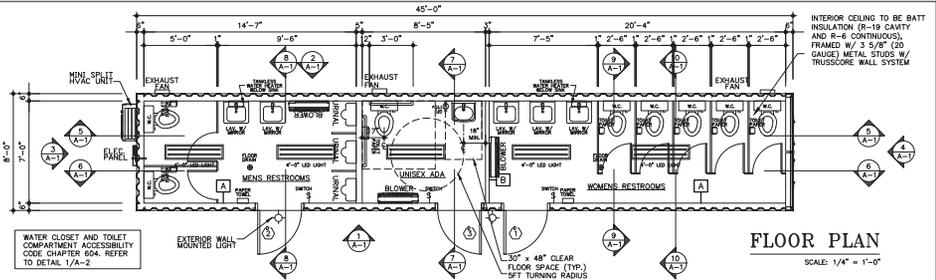
④ PROVIDE THRESHOLD & WEATHERSTRIPPING

SYMBOL LEGEND



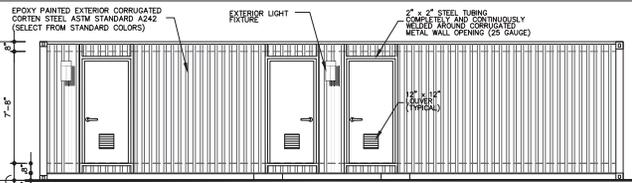
WALL ASSEMBLY SCHEDULE

- A 3/8" METAL STUD FRAMING (20 GAUGE) @ 24" O/C TO STRUCTURE ABOVE WITH ONE LAYER OF TRUSSCORE WALL SYSTEM ON INTERIOR SIDE TO 4" ABOVE CEILING, PROVIDE BATT INSULATION (R-13 CAVITY / R-6 CONTIGUOUS) TO STRUCTURE ABOVE.
- B 3/8" METAL STUD FRAMING (20 GAUGE) @ 24" O/C TO STRUCTURE ABOVE WITH ONE LAYER OF 1/2" TRUSSCORE WALL SYSTEM ON EACH SIDE TO STRUCTURE ABOVE.



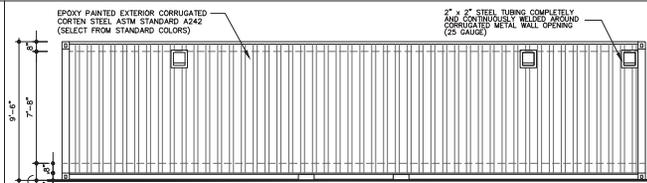
FLOOR PLAN

SCALE: 1/4" = 1'-0"



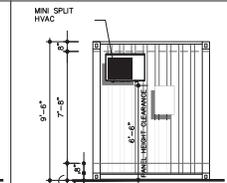
BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



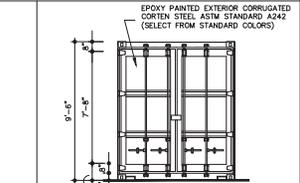
BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



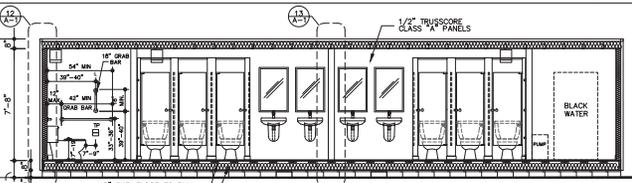
BLDG ELEVATION

SCALE: 1/4" = 1'-0"



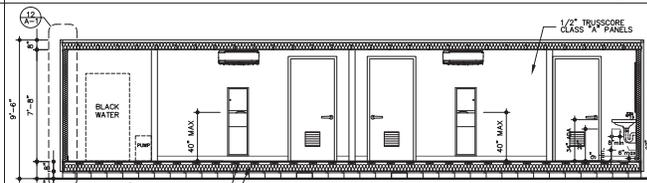
BLDG ELEVATION

SCALE: 1/4" = 1'-0"



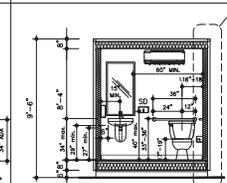
BUILDING SECTION

SCALE: 1/4" = 1'-0"



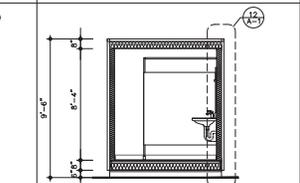
BUILDING SECTION

SCALE: 1/4" = 1'-0"



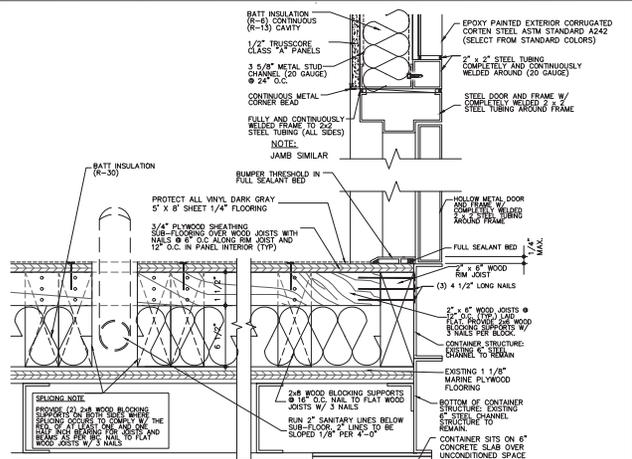
BUILDING SECTION

SCALE: 1/4" = 1'-0"



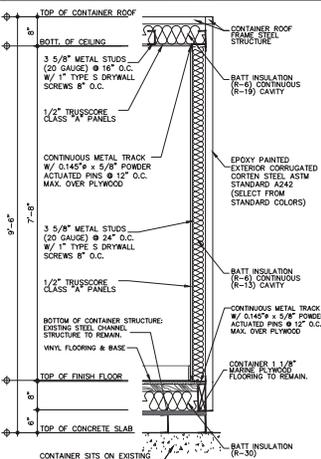
BUILDING SECTION

SCALE: 1/4" = 1'-0"



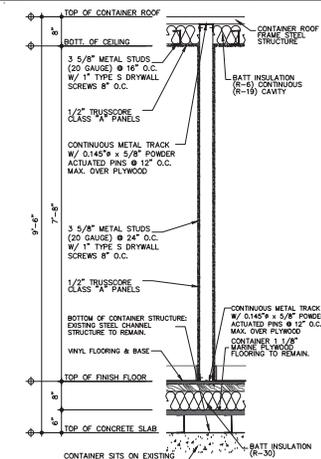
DOOR HEAD/SILL DETAIL

SCALE: 3" = 1'-0"



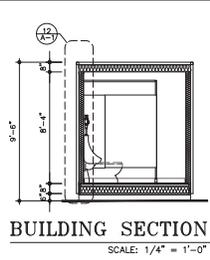
WALL SECTION

EXTERIOR WALL SCALE: 3/4" = 1'-0"



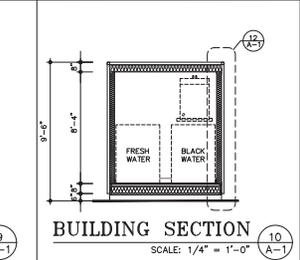
WALL SECTION

INTERIOR WALL SCALE: 3/4" = 1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"

EXTERIOR DOOR HARDWARE SPECIFICATIONS

THE DOOR IS 18 GA AND THE FRAME IS 16GA.
 3-0 x 6-8 x 1 3/4" 18 GA- DOOR
 3-0 x 6-8 x 1 3/4" 18 GA- FRAME
 LEVER SPEC TO DOOR:
 LOCK CHASSIS: STEEL, ZINC DIPOXIMATED CHASSIS FOR CORROSION RESISTANCE
 TRIM: 5" SOLID ZINC DIECAST LEVERS, 3 5/8" WROUGHT BRASS ROSES
 LEVER RETURN: ANTI-LAG MECHANISM WITH INDEPENDENT LEVER RETURN
 SPRINGS TO PREVENT LEVER SLIP
 2 3/4" MANDREL STD. WITH 1 1/8" x 2 1/4" LATCH FACE
 STAINLESS STEEL LATCH BOLT WITH 1/2" PROJECTION, SEADOOKING ON KEYS
 FUNCTIONS & EXT. LATCH

ROOFING NOTE:
 THE ROOF WILL BE DONE BY GENERAL CONTRACTOR ON SITE USING SPRAY FOAM SYSTEM THAT COMPLIES WITH IECC C402.3 FOR REFLECTANCE AND THERMAL EMITTANCE

INTEGRATED MODULAR SOLUTIONS



AUTHORIZED SIGNATURE OF PRODUCTION

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THE DROP YARD

MEN'S/WOMEN'S/UNISEX RESTROOM (ADA)

1450 CENTRAL AVE. LOS ALAMOS, NM 87544

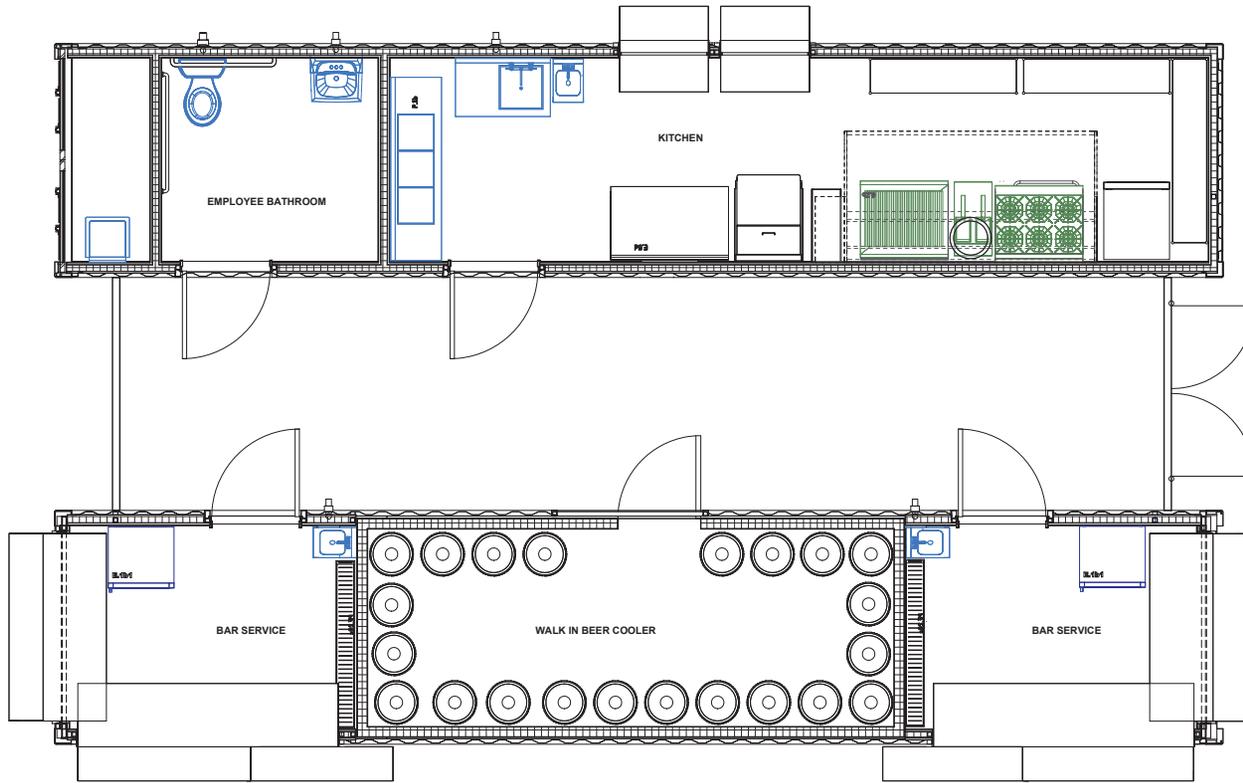
REVISIONS

SHEET TITLE :
 FLOOR PLAN AND SCHEDULES
 BUILDING ELEVATIONS
 BUILDING SECTIONS & DETAILS

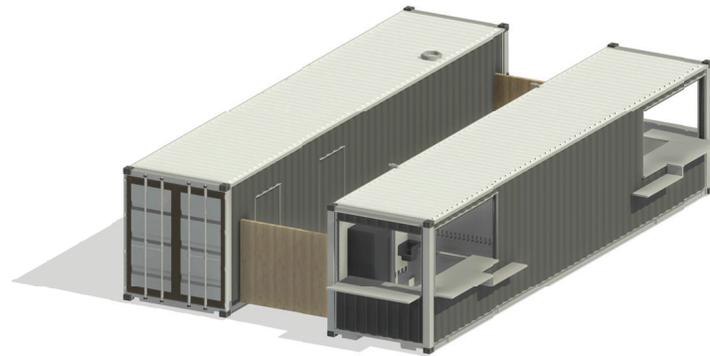
DATE: 03/21/24

SHEET

A-1
 A-1.2



① SK
1/2" = 1'-0"



② (3D) Copy 1
③ (3D) Copy 1 Copy 1

DROP YARD
Enter address here

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A-1.3

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1_ELEVATION_SCALE: 1/8"=1'-0"



2_ELEVATION_SCALE: 1/8"=1'-0"

PROJECT

THE DROP YARD

880 S WESTLAKE BLVD,
WESTLAKE VILLAGE, CA 91361

OWNER

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SITE ELEVATIONS

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www.mikehessbrewing.com



2_THE BACKYARD, PASO ROBLES, CA

www.thebackyardpaso.com



3_CRACKHEADS, CARLSBAD, CA

www.crackheads.com



4_SPARK SOCIAL, SAN FRANCISCO, CA
www.sparksocialsf.com

PROJECT

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IMAGES OF SIMILAR VENUES

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ARTIST RENDERINGS

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THE DROP YARD

880 S WESTLAKE BLVD,
WESTLAKE VILLAGE, CA 91361

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ARTIST RENDERINGS
OF PROPOSED VENUE

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